



**NOTICE OF PUBLIC MEETING  
WEDNESDAY, MARCH 5, 2025 – 6:00 P.M.  
BOARD OF ADJUSTMENT MEETING  
AGENDA**

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I. MEETING CALLED TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES: JULY 10, 2024

IV. REQUEST FOR VARIANCE BY LAURA DETMER

Appeal by Laura Detmer to construct an addition and attached garage at the existing residence of 286 Parkland Avenue which would encroach into the side yard setback in the R-1 zoning district in violation of Section 400.190 of the Glendale Zoning Code and would exceed the maximum allowed Floor Area Ratio (FAR) in violation of Section 400.190.

V. PUBLIC HEARING: 286 PARKLAND AVENUE VARIANCE REQUEST

VI. REQUEST FOR VARIANCE BY SEAN AND MEGAN DOLAN

Appeal by Sean and Megan Dolan to enclose a deck and construct a new uncovered deck at the existing residence at 16 Cambridge Ct. which would encroach into the maximum allowed offset for attached decks in violation of Section 400.\_\_\_\_ of the Glendale Zoning Code.

VII. PUBLIC HEARING: 16 CAMBRIDGE COURT VARIANCE REQUEST

VIII. REQUEST FOR VARIANCE BY DANIEL GARGAN

Appeal by Daniel Gargan to construct a new attached garage to the existing residence at 400 Parkland Ave. which would encroach into front yard setback in the R-1 zoning district in violation of Section 400.140 of the Glendale Zoning Code.

IX. PUBLIC HEARING: 400 PARKLAND AVENUE VARIANCE REQUEST

X. REQUEST FOR VARIANCE BY JENNY GASSOW

Appeal by Jenny Gassow to construct an attached shed to an existing two-car garage at 1249 Carol Ann Pl. which would encroach into rear yard setback in the R-2 zoning district in violation of Section 400.190 of the Glendale Zoning Code.

XI. PUBLIC HEARING: 1249 CAROL ANN PLACE VARIANCE REQUEST

XII. MISCELLANEOUS

XIII. ADJOURNMENT

This meeting will be held at the Glendale City Hall Auditorium at 424 N. Sappington Road and will be open to the public.

*Gabrielle Macaluso*

Gabrielle Macaluso  
Deputy City Clerk

POSTED: February 28, 2025 – 9:00 A.M.



**MINUTES  
BOARD OF ADJUSTMENT MEETING  
WEDNESDAY, JULY 10, 2024– 6:00 P.M.**

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CHAIRMAN THOMAS LANE  
KEN FINNERTY  
WILLIAM SMIT  
MARK HEWLITT  
SUSAN SCHOEN

ALTERNATES  
WRENN KATES  
JOHN BUGEE

CITY ATTORNEY, ALEXANDRA SIEVERS  
CITY ADMINISTRATOR, FRANK JOHNSON  
DEPUTY CITY CLERK, JOANNE CARR

MEETING CALLED TO ORDER

The meeting was called to order by Chairman Lane at 6:00 p.m.

ROLL CALL

Present: Chairman Lane, Ms. Schoen, Mr. Finnerty, Mr. Smit

Absent: Mr. Hewlett, Ms. Kates, Mr. Bugee

APPROVAL OF MINUTES: DECEMBER 6, 2023 AND JUNE 5, 2024

Chairman Lane asked if there were any additions or corrections to the minutes from December 6, 2023. Mr. Finnerty motioned approval of the minutes as written. Mr. Smit seconded the motion. Chairman Lane asked if there were any additions or corrections to the minutes from June 5, 2024. Mr. Smit moved approval of the minutes as written. Mr. Finnerty seconded the motion, which was approved.

REQUEST FOR VARIANCE BY GEORGE GENUNG, 736 GLENWAY DRIVE

Appeal by George Genung to construct a covered patio at the existing residence of 736 Glenway Drive which would encroach into the rear yard setback in the R-2 zoning district in violation of Section 400.190 under the Glendale Zoning Code.

Present: George Genung, Owner  
James Thomas, RW Home Solutions

Ms. Alexandra Sievers offered the applicant's packet dated June 10, 2024, the supplemental executive memo dated July 5, 2024, and the entire Glendale Municipal code into the minutes.

Mr. Thomas, RW Home Solutions and Patio Products was sworn in by the court reporter, Jude Arndt,

Mr. Thomas asked for a variance to the setback rule on behalf of the owner of 736 Glenway, Mr. George Genung, for the construction of an attached patio cover, adding that the existing patio has been updated with frost cover. Mr. Thomas stated that the shallowness of the lot requires the variance request adding that the streets a block over do not have the same issue.

Chairman Lane asked if there were any questions. Ms. Schoen asked about the frost wall. Mr. Thomas stated that the frost wall was put in place so it will not shift when the patio freezes adding that the stress on the patio could cause problems for the home. Ms. Schoen asked if the patio size was increased with the change to the patio. Mr. Thomas stated that they did not increase the size of the patio but noted that the patio was the same size as originally built.

Chairman Lane asked if there were any other questions, and there were none.

Chairman Lane asked if there were any public comments. There was none.

Mr. Finnerty moved approval of the variance request as follows:

**JUDGEMENT OF BOARD OF ADJUSTMENT  
CITY OF GLENDALE, MISSOURI**

Hearing Date: July 10, 2024

Appellant: Mr. George Genung

Address of Affected Property: 736 Glenway Drive

Nature of Extension or Addition and Use: To construct a covered porch which would invade the required 30' rear yard setback by 8'.

Resolution:

WHEREAS, The Board of Adjustment of the City of Glendale, Missouri, does find and determine that the above-described property is in Zoning District R-2, which said district requires a rear-yard setback of 30' feet; and,

WHEREAS, the applicant desires to construct a covering over an existing patio which would be in violation of the Zone Code of the City of Glendale Section 400.190 in that it would encroach into the required rear-yard setback by 8'; and,

WHEREAS, The Board finds that the property on which such violation is proposed possessed the following extraordinary or exceptional situations not generally prevalent in the neighborhood which would result in peculiar and exceptional practical difficulties or exceptional and undue hardship on the owner of such property as set out below, if the strict application of the zoning regulations as to setback were followed: project would not alter the essential character of the neighborhood, does not significantly impact the line of

site, and is similar to covered patios and covered porches that the Board of Adjustment has consistently approved in the past.

NOW THEREFORE BE IT RESOLVED, that the appeal of the above applicant for a variance in the strict application of the zoning regulations is approved based on the findings of fact set out above.

The applicant is hereby authorized to encroach into the rear yard setback by 8' due to the exceptional narrowness of the lot compared to others in Glendale but not on Glenway.

The Building Commissioner of the City is instructed to act accordingly.

Ms. Schoen seconded the motion which was unanimously approved.

Voice Vote:

Ayes: Chairman Lane, Ms. Schoen, Mr. Finnerty, Mr. Smit

Nays: None

Not Present: Mr. Hewlett, Ms. Kates, Mr. Bugee

REQUEST FOR VARIANCE BY KRISTEN AND MIKE CROCE, 129 ELM AVENUE  
Appeal by Kristen and Mike Croce at 129 Elm for a variance to the plumbing code which requires the drain inlet/outlet to be not less than 10' from any property line per IAPMO 2015 Uniform Plumbing Code section 1101.5.6.

Ms. Sievers stated that a simple majority vote was required for an approval for the change in the MSD inlet and the drainage discharge encroaching into the required 10' setback.

Ms. Sievers offered the applicant's packet dated June, 14, 2024, the July 5, 2024 executive summary, the narrative letter dated July 1, 2024, the site plan and images, the strict letter of the ordinance regulations of the building code, and the Municipal Codes 500.010, 105.640 which outline the Board of Appeals authority for this evening's meeting.

Nick Liuzza, NJL Custom Homes was sworn in by Mr. Arndt.

Mr. Liuzza stated that he was the owner of NJL and reported that he had a means by which a retaining wall problem could be remedied. Mr. Liuzza stated that in 2019, a retaining wall was constructed which restricted the flow of water, causing a backup at the neighboring home. Mr. Liuzza stated that MSD had approved plans to remedy the problem which included the construction of a concrete trench and an ingress and egress piping to be located beyond the 10' property line which would encroach upon the existing location per code which indicates drainage must flow within the 10' property line. Mr. Liuzza stated that it would be impossible to place the drainage pipes anywhere else on the property to make the flow work.

Mr. Finnerty noted that the drainage flows from south to north and asked if there were other yards with swales which collect water. Mr. Liuzza stated that most do but noted that there was a

massive amount of water coming to the home. Mr. Liuzza advised Mr. Finnerty that the plan was to connect at the lowest point of the property for proper drainage.

Chairman Lane asked if the water would eventually empty into the Beverly Avenue storm sewer. Mr. Liuzza stated that the only storm sewer is on the property line to the north adding that they were trying to move all the water from the south to the north MSD storm drain. Chairman Lane asked about the maintenance of the storm drain and the trench. Mr. Liuzza stated that the homeowner would be responsible for the basic maintenance of the storm drain and the full maintenance of the trench.

Ms. Schoen asked if this issue has been going on since 2019. Mr. Liuzza stated that the issue was most pronounced following the 2022 rainstorm which produced enough rain to cause it to back up and there continues to be evidence of pooling water. Mr. Liuzza noted that there was no water in the basement.

The narrative letter from NJL Custom Homes was read into the minutes as follows:

To Whom it May Concern:

I am writing to formally request a variance from Section 1101.6.5 of the 2015 Uniform Plumbing Code, as adopted by the City of Glendale, regarding the proposed construction of a covered concrete trench in the rear of my property. The trench is intended to manage water discharge effectively, but due to property constraints and existing conditions (retaining walls and fences), the inlet and outflow discharges would be located closer to the property lines than the stipulated ten foot requirement.

Justification for Variance:

1. **Practical Difficulties and Unnecessary Hardships:** the primary challenge we face is the physical layout of our property. The lot dimensions restrict us from placing the trench in a manner that adheres strictly to the ten-foot setback requirement without significantly reducing the functionality of the back yard and access to the garage. Our property is narrow, with limited space in the rear yard due to existing structures and landscaping.
2. **Consideration of Public Welfare and Safety:** Despite the variance request, the proposed construction of the covered trench aims to enhance rather than compromise public welfare and safety. By managing water runoff effectively, it mitigates the risk of localized flooding during heavy rains, thereby contributing positively to public safety.
3. **Observing the Spirit of the Code:** Although we are unable to meet the exact letter of the building code regarding setback distances, the design and construction of the trench still adhere to the spirit of the Code. It ensures that water management is addressed responsibly and effectively, aligning with the broader goals of the Uniform Plumbing Code to promote environmental sustainability and community welfare.
4. **Substantial Justice:** Granting the variance would serve the interest of substantial justice by allowing us to utilize our property in a manner that balances practicality with regulatory compliance. Denial of the variance would impose undue hardship without corresponding benefits to the community or neighbors.

In conclusion, I respectfully request the Board of Appeals to grant the variance from Section 1101.6.5 of the 2015 Uniform Plumbing Code for the proposed covered trench. The reasons outlined above demonstrate the practical difficulties and hardships we face, along with our commitment to upholding public welfare and safety while maintaining the spirit of the building code. Thank you for considering my request. I look forward to the opportunity to discuss this matter further at the upcoming meeting on July 10.

Nick Liuzza, NJL Custom Homes.

Chairman Lane asked if there were any other questions.

Mr. Frank Johnson was sworn in by Mr. Arndt.

Mr. Johnson stated that Mr. Liuzza summarized the variance request well adding that the house was built in 2019, and the backyard was graded and raised which necessitated a retaining wall. Mr. Johnson stated due to the water issues identified by the neighbor, he investigated the land disturbance code and asked Lochmueller group to review the stormwater plan given by Mr. Liuzza. Lochmueller Group stated that there were sufficient storm water calculations to remedy the stormwater flow. Chairman Lane asked Mr. Johnson if he believed the practical difficulties have been remedied with the plan which could lead to a quick resolution in the most practical way. Mr. Johnson agreed that the plan would.

Chairman Lane asked if there were any other questions.

Ms. Alison Manion, Lochmueller Group, was sworn in by Mr. Arndt.

Chairman Lane asked Ms. Manion if she had determined that the trench was sufficiently sized based on the water calculations. Ms. Manion agreed that it was sufficiently sized and added that typical calculations by MSD for a 100-year storm would carry this much water and it follows the 2015 plumbing codes. Ms. Manion stated that she had reviewed the plans as well as 2 other designs adding that her only concern was that the residents at 125 and 129 Elm would need to keep in inlet clean in order for there not to be any hinderance to water flow. Ms. Manion stated that the lot was 1.98 acres and noted that the plans showed the correct drainage area with the inlet located at the lowest point. Ms. Schoen asked if the fence near the retaining wall an impediment . Ms. Manion stated that it was not but added that debris must be cleaned at the fence line or water could backup to the fence.

Mr. Schoen moved approval of the variance as follows:

## JUDGMENT OF BOARD OF APPEALS CITY OF GLENDALE, MISSOURI

Hearing Date: July 10, 2024

Appellants: Michael and Kristen Croce

Address of Affected Property: 129 Elm Ave.

Nature of Proposed Use: To construct a concrete trench for stormwater drainage which would invade the required drainage inlet and discharge setbacks.

Resolution:

WHEREAS, the Board of Appeals of the City of Glendale, Missouri, does find and determine that the above-described property is subject to the IAPMO 2015 Uniform Plumbing Code, as adopted by the City of Glendale, which said code requires that exterior stormwater drain inlets/outlets to not be less than 10 feet from any property line; and,

WHEREAS, the Applicants desire to construct a concrete drainage trench in their rear yard that would be in violation of the 2015 Uniform Plumbing Code Section 1101.6.5 in that the inlet would be located 3.5 feet from the south property line and the discharge would be located 1 foot from the north property line; and,

WHEREAS, the Board finds that the Appellants will face the following practical difficulties or unnecessary hardships if they are required to follow the strict letter of the plumbing code (that is having the inlet and discharge of the trench at least 10 feet into their yard due to the challenge of the physical layout of the property and the lot dimensions that restrict the placement of the trench in manner that adheres strictly to the ten-foot setback requirement without significantly reducing the functionality of the backyard, access to the garage and due to the narrowness of the lot and limited space in the rear yard due to existing structures and landscaping, and that such hardships and practical difficulties justify the granting of the variance while still managing to have the spirit of the Code observed, public welfare and safety secured and substantial justice done.

NOW THEREFORE BE IT RESOLVED, that the appeal of the above applicant for a variance in the strict application of the plumbing code ***is approved*** based on the findings of fact set out above.

The applicant is hereby authorized to encroach into the inlet drainage setback by 6.5' and the outlet drainage setback by 9' due to the findings described above.

The Building Commissioner of the City is instructed to act accordingly.

Mr. Finnerty seconded the motion.

Voice Vote:

Ayes: Chairman Lane, Ms. Schoen, Mr. Finnerty, Mr. Smit

Nays: None

Not Present: Mr. Hewlett, Ms. Kates, Mr. Bugee

#### **MISCELLANEOUS**

None

#### **ADJOURNMENT**

Mr. Finnerty moved to adjourn the meeting, which was seconded by Mr. Smit. The motion was unanimously approved.

These minutes approved/amended as submitted this 2nd day October, 2024

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Joanne Carr, Deputy City Clerk



*Section 2: Explanation for Applicant's Appeal:*

Please explain the basis for the appeal. In order to qualify for a variance, you must provide information as to why the variance request fits within at least one of the reasons under Section 1 above.

Dear Board of Adjustment,

We seek a variance to the Glendale Municipal Code due to the exceptional practical difficulties placed upon Laura Detmer, owner of 286 Parkland Avenue. We seek an Area Variance due to the exceptional narrowness of her property. The property at 286 Parkland Avenue is zoned R-1 with side setbacks of 10 feet and FAR of 30%.

10-foot side setbacks are required for properties of 10,000 square feet or more, and 80 feet wide or more. However, this particular Parkland property is only 9583 square feet and 62 feet wide. R-1, when applied to 286 Parkland, limits the home to 42 feet wide ( $62-20=42$ ). Yet R-1 as it is written, allows for homes a minimum of 60 feet wide ( $80-20=60$ ).

As Laura ages in her home of over twenty years, health issues are beginning to limit her mobility. The upper-level bedrooms are a challenge to use on a regular basis. The only full bath is upstairs near the bedrooms. There are no bedrooms, or full baths, on the main level. And the laundry is on the lower level.

To make the house more livable for Laura as she ages, she would like to add an Owner's Suite with laundry, and an attached Garage, to the main level of the house. The addition is to be designed with Aging in Place standards in mind. Doorways, hallways, turning radius, etc. will need to be generous. The 30% maximum FAR required of all residential lots, severely limits opportunities to expand the existing homes' main level living space. Laura had intended this home would be her forever home, but the limitations placed on her by Glendale Zoning Code create an undue hardship as she seeks to adapt her home to meet her needs.

We propose a 6-foot side back on the right (south) side of the house, which would be in accordance with what is allowed for R-2, homes 65 feet or less, 6-foot side setbacks. We propose also a FAR of 32% be allowed to enable the homeowner to Age in Place with single level living.

Variance Argument: We seek a variance to the Glendale Municipal Code due to the exceptional practical difficulties placed upon Laura Detmer, by reason of exceptional narrowness.

The Board of Adjustment meeting is the first Wednesday of every month at 6:00 p.m. Along with the \$100.00 application fee, the following must be submitted:

- 1.) The reason(s) for the variance under the Board's authority (see above).
- 2.) Ten (10) copies of scaled drawings to include an existing survey, site plan and any other construction drawings.
- 3.) Photographs of both the owner's property and the adjacent property or properties relevant to the property line and setback requirements in question. Photographs should include existing structures and other existing site improvements relevant to the property line.

KIM HANY

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Petitioner

updated 9/19







\*For March 5, 2025



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

## APPEAL TO THE BOARD OF ADJUSTMENT

APPLICANT: Sean and Megan Dolan DATE: \_\_\_\_\_

PROPERTY OWNER: Sean and Megan Dolan ZONING DISTRICT: R-2

ADDRESS of PROPERTY: 16 Cambridge Court Glendale, MO 63122

TELEPHONE: Day (\_\_\_\_) \_\_\_\_\_ Home ( 636 ) 346-7475 (Sean)  
636 667-7252 (Megan)

### Section 1: Basis for Granting Variances:

A variance can only be granted when the strict application of the zoning regulations of Chapter 400 of the Glendale Municipal Code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property by reason of at least one of the following:

- a. *Area Variances.* When, by reason of exceptional narrowness, shallowness or shape of a specific piece of property on April 24, 1963, or by reason of exceptional topographical conditions or other extraordinary or exceptional situation or condition of a specific piece of property, which condition is not generally prevalent in the neighborhood, the strict application of the area regulations of this Chapter would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property, the Board is hereby empowered to authorize upon an appeal relating to such property, a variation from such strict application so as to relieve such difficulty or hardships.
- b. *Use Variances.* The Board of Adjustment is empowered to grant use variances only upon findings that all of the following five factors are established:
  - 1. The applicant will be deprived of all beneficial use of the property under any of the permitted uses in the zoning district in which the property is located, all beneficial use being lost only where the property is not suitable for any use permitted in the City's zoning ordinance for that zoning district; and
  - 2. The applicant has sufficiently demonstrated unnecessary hardship by expert testimony and/or documentation and not mere conclusionary or lay opinion that the property in question cannot yield a reasonable return if used only for a purpose or purposes permitted in the zoning district in which that property is located; and
  - 3. The plight of the owner is due to exceptional or unique circumstances and not due to general conditions in the neighborhood; and
  - 4. The use to be authorized by the variance would not alter the essential character of the neighborhood; and
  - 5. The proposed use to be authorized by the use variance would not constitute a change in the district map, impair an adequate supply of light and air to adjacent property, increase congestion in public streets, increase the danger of fire, materially diminish or impair established property values within the surrounding area and would not in any other respect impair the public health, safety, comfort, morals and welfare of the City.

For details of the Board's authority to grant a variance, see Sections 400.910-400.970 of the Glendale Code.

Please note that the desire to use certain space, whether interior or exterior, in a particular manner is not a basis for the Board to grant a variance.





November 18, 2024

Zoning Board of Adjustment c/o City Planner, City of Glendale  
424 N Sappington Rd  
Glendale, MO 63122

Re: Dolan Residence  
16 Cambridge Court  
Glendale, MO 63122

Dear Members of the Glendale Board of Adjustment:

Sean and Megan Dolan would like to request a variance for their home located at 16 Cambridge Court, in the R2 Zoning District. The variance requested is to the maximum allowable front porch offset from the house in order to expand their existing deck and add a covered portion with fireplace. The proposed covered porch is in violation of 400.070.A.7 of the Zoning Ordinance of the City of Glendale, which states that an unenclosed porch may project up to 10 feet in depth from the front of the building within the required front yard.

The Dolan's plans are to expand the existing deck by a depth of 3 feet and add a roof and fireplace on the rear of their home in order to provide usable outdoor living space for their modest 2-story home of approximately 3,300 sq. ft. The existing home has a deck that projects 13'-1" perpendicular to the house towards Glenvista Place on the traditional rear of the home.. The proposed 17 foot – 7 inch deep porch will extend into the front yard causing it to be in violation of the maximum porch projection. We would request that this maximum projection be increased to 17'-8" in order to allow for the proposed covered porch to be constructed. If the site had only a single frontage along Cambridge Court, the proposed could be built in the rear yard without variance.

The lot located at 16 Cambridge Court has a lot area of approximately 15,349 sq. ft. with a lot width at the front yard line of approximately 50 feet. The rear lot line has a length of 148.43 feet resulting in a lot that narrows towards the front. The lot is pie shaped with a double frontage with Glenvista Place on the traditional rear property line. The applicant faces an unnecessary hardship peculiar to the size and shape of this lot due to the double frontage, pie shape. If the property line at the rear of the home weren't along a street, the proposed could be built without a variance.

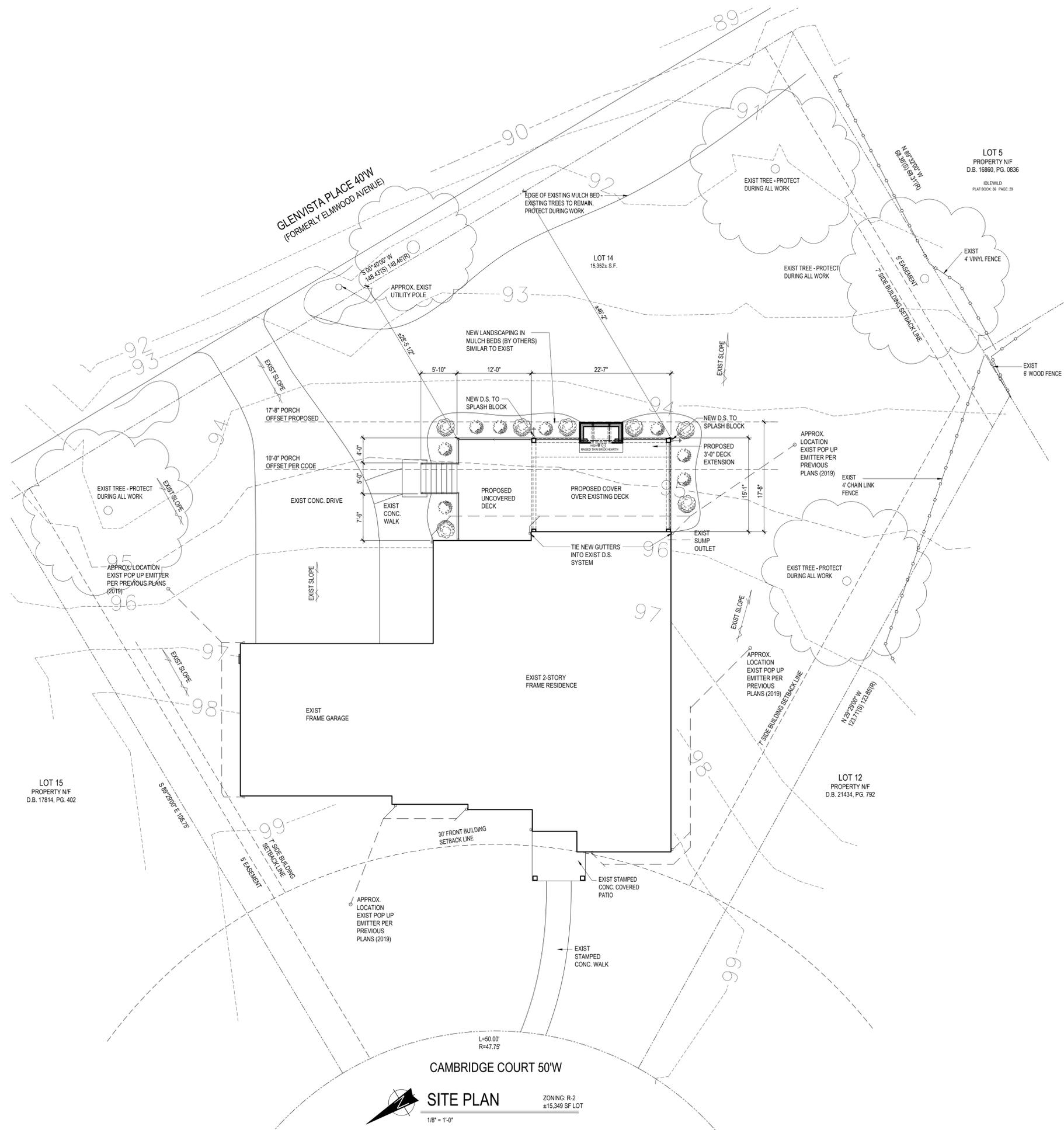
It is the Dolan's intention to construct the proposed porch addition to gain some outdoor space protected from direct sun and be able to entertain outdoors. The porch addition will be constructed in a practical manner consistent with the architecture and setting of the existing house and neighborhood. The addition will not affect neighboring properties visually or practically by limiting light or increasing water runoff. The proposed additions will be in keeping with the architectural style and materials of the existing home and will be landscaped in a similar fashion as the rest of the yard. These improvements will have no negative effect on the neighborhood.

Respectfully submitted,

Sean Dolan

Megan Dolan

Prepared by: Jim Bulejski, Architect



**SITE NOTES**

- UTILITIES: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO ANY GRADING AND/OR EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE SERVICE AND REPAIR DAMAGED UTILITIES, AT NO ADDITIONAL COST TO THE OWNER.
- DRAINAGE: INSTALL DRAIN TILE AROUND NEW CONSTRUCTION PER SECTIONS.
- SILTATION AND EROSION CONTROL: CONTRACTOR SHALL PROVIDE PROTECTION AT ALL ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAYS. CONTROL SHALL INCLUDE STRAW BALES OR OTHER METHODS THAT MAY BE REQUIRED BY LOCAL AUTHORITIES.
- TRENCH BACKFILL: ALL TRENCHES BENEATH ASPHALT OR CONCRETE PAVING SHALL BE BACKFILL WITH CRUSHED GRANULAR FILL MATERIAL.
- SITE DATA: THE FOLLOWING INFORMATION HAS BEEN FURNISHED BY THE OWNER OR OWNERS CONSULTANT. THE ARCHITECT MAY ASSIST IN OBTAINING THIS INFORMATION BUT ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY. PROPERTY BOUNDARY INFORMATION INDICATED HEREIN WAS OBTAINED FROM: MERIDIAN LAND SURVEYING, ST. CHARLES, MISSOURI, DATED APRIL 16, 2019. THIS PROPERTY INFORMATION SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS AS IF BOUND HEREIN. CONTRACTOR SHALL REFER TO FOR OTHER INFORMATION AND BE FAMILIAR WITH THIS DOCUMENTATION BEFORE PROCEEDING WITH CONSTRUCTION. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE PROCEEDINGS WITH WORK.
- DISCLAIMER: THE ARCHITECT DISCLAIMS ANY RESPONSIBILITY FOR ALL BOUNDARY, TOPOGRAPHIC SITE RESTRICTIONS, EASEMENTS, BENCHMARKS, LEGAL DESCRIPTION, OR OTHER DOCUMENTS PREPARED BY THE ENGINEERS LISTED ABOVE. NOTE THAT THE PROPOSED SITE IMPROVEMENTS, I.E., NEW BUILDINGS AND GRADING HAS BEEN DRAWN ON THE SURVEY BY THE ARCHITECT. THE ARCHITECT'S SEAL, IF ON THIS SHEET, APPLIES ONLY TO WORKING DRAWINGS PREPARED BY THE ARCHITECT.
- GENERAL CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL CITY AND SUBDIVISION REQUIREMENTS FOR PAVEMENT CONSTRUCTION WHERE DRIVEWAY ABUTS THE STREET.
- SEE SPECIFICATIONS FOR ADDITIONAL SITE RELATED INFORMATION.
- STAKEOUT: THE ADDITION SHALL BE STAKED OUT ON THE LOT BY A LICENSED SURVEYOR TO ASSURE COMPLIANCE WITH ALL SITE RESTRICTIONS EXISTING EASEMENTS, LOCAL AND SUBDIVISION SET BACK ORDINANCE, INDENTURES, AND EXISTING PROPERTY LINES. VERIFY ELEVATIONS (TOPO) AND LOCATION OF ADDITIONS WITH THE OWNER, BEFORE PROCEEDING WITH THE WORK.
- LANDSCAPING: BY OTHERS
- SITE CLEANING: TREES AND BRUSH, WHERE REQUIRED TO BE REMOVED OR INTERFERE WITH NEW CONSTRUCTION SHALL BE TAKEN DOWN, STUMPS REMOVED, AND HAULED AWAY.
- PROTECT ALL TREES TO REMAIN. COORDINATE ALL TREE MODIFICATIONS WITH OWNER. TREES TO REMAIN SHALL HAVE ROOTS PRUNED BY OWNERS LANDSCAPE CONTRACTOR IF NECESSARY. GENERAL CONTRACTOR SHALL FENCE OFF AREA (USING TEMPORARY ORANGE FENCING OR EQUAL) AROUND TREES THAT ARE ADJACENT TO CONSTRUCTION. THE INTENT IS TO AVOID DRIVING OR STORING HEAVY EQUIPMENT ON THE TREE ROOT SYSTEM.
- COORDINATE LOCATION FOR STOCKPIPING OF TOPSOIL WITH OWNER.
- DRAINAGE SYSTEM: DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT. DISCHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET, PROPERTY LINE OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.

**LIST OF SHEETS**

- FOUNDATION PLAN AND STAIR SECT.
- FLOOR PLANS
- FRONT AND LEFT SIDE ELEVATION
- REAR AND RIGHT SIDE ELEVATION
- GENERAL NOTES, SECTIONS AND DETAILS

**LEGEND**

	NEW WALL / BRICK
	EXISTING WALL
	WALL TBR
	BRG. WALL
	BRG. FROM ABV.
	WALL BRACING
	POST & HEADER
	GIRDER TRUSS
	MTL. HANGER
	POST

**BUILDING CODE INFORMATION:**

GLENDALE (ST. LOUIS COUNTY), MISSOURI  
 BUILDING: 2015 INTERNATIONAL RESIDENTIAL CODE  
 PLUMBING: 2015 UNIFORM PLUMBING CODE  
 MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE  
 ELECTRICAL: 2014 NATIONAL ELECTRIC CODE

date: 11/06/24  
 11/12/24  
 prelim zoning check  
**JIM BULEJSKI ARCHITECTS**  
 345 MARSHALL AVE. • SUITE 100 • ST. LOUIS, MO 63119  
 PHONE: 314-662-6700 • FACSIMILE: 314-662-6702  
 EMAIL: JIM@JBARCHITECT.COM •

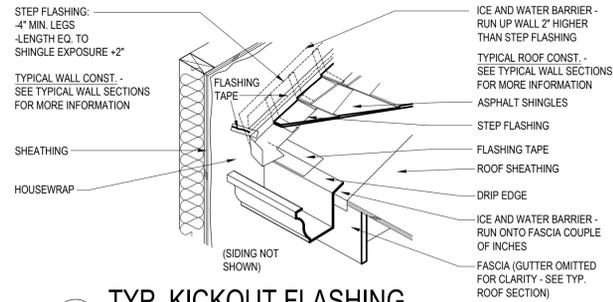
PRELIMINARY  
 NOT FOR CONSTRUCTION

COVERED PORCH FOR:  
**Sean and Megan Dolan**  
**16 Cambridge Court**  
**Glendale, MO 63122**

sheet: 1 of 02  
**SITE PLAN**

CAMBRIDGE COURT 50'W  
**SITE PLAN**  
 ZONING: R-2  
 ±15,349 SF LOT  
 1/8" = 1'-0"

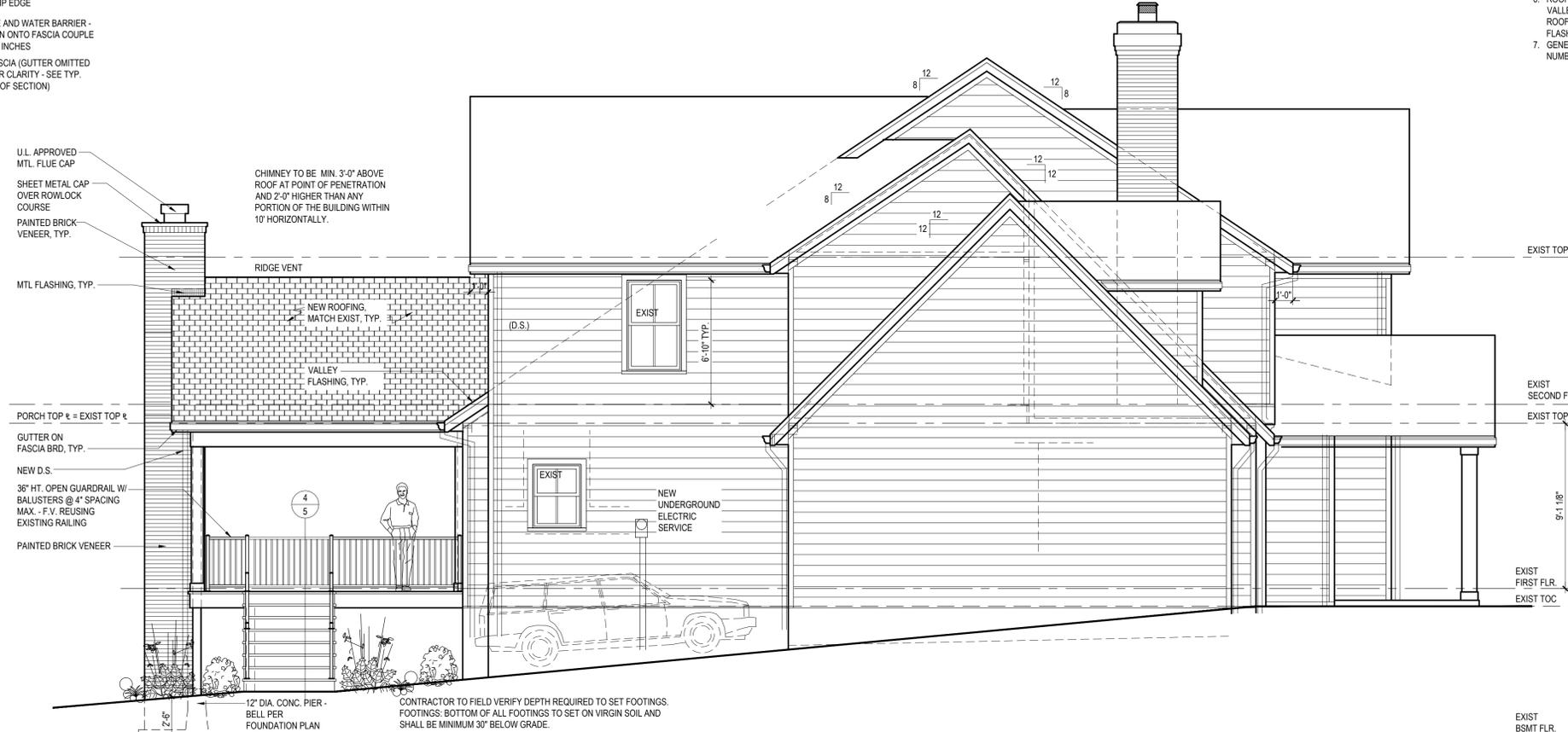




**1** TYP. KICKOUT FLASHING  
1" = 1'-0"

**ELEVATION DRAWING NOTES**

1. SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
2. FOOTINGS AND PIERS: BOTTOM OF ALL FOOTINGS TO SET ON SOLID, UNDISTURBED SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID, UNDISTURBED SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
3. BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS, AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
4. CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN. 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
5. DECK DOORS: SECURELY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
6. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECK, ETC. ROLLED ROOFING OR (2) LAYERS OF TYPE 1 UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
7. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.



**LEFT SIDE ELEVATION**  
1/4" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"

date: 11/06/24  
prelim zoning check 11/12/24

**JIM BULEJSKI ARCHITECTS**  
345 MARSHALL AVE. • SUITE 100A ST. LOUIS, MO 63119  
PHONE: 314-662-6700 • FACSIMILE: 314-662-6702  
EMAIL: JIM@JBARCHITECT.COM

PRELIMINARY  
NOT FOR  
CONSTRUCTION

COVERED PORCH FOR:  
**Sean and Megan Dolan**  
16 Cambridge Court  
Glendale, MO 63122

**FRONT AND LEFT ELEVATIONS**

sheet: **3** of .02

**ELEVATION DRAWING NOTES**

1. SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1"FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
2. FOOTINGS AND PIERS: BOTTOM OF ALL FOOTINGS TO SET ON SOLID, UNDISTURBED SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID, UNDISTURBED SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
3. BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS, AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
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7. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.

date: 11/06/24  
prelim zoning check 11/12/24

**JIM BULEJSKI ARCHITECTS**

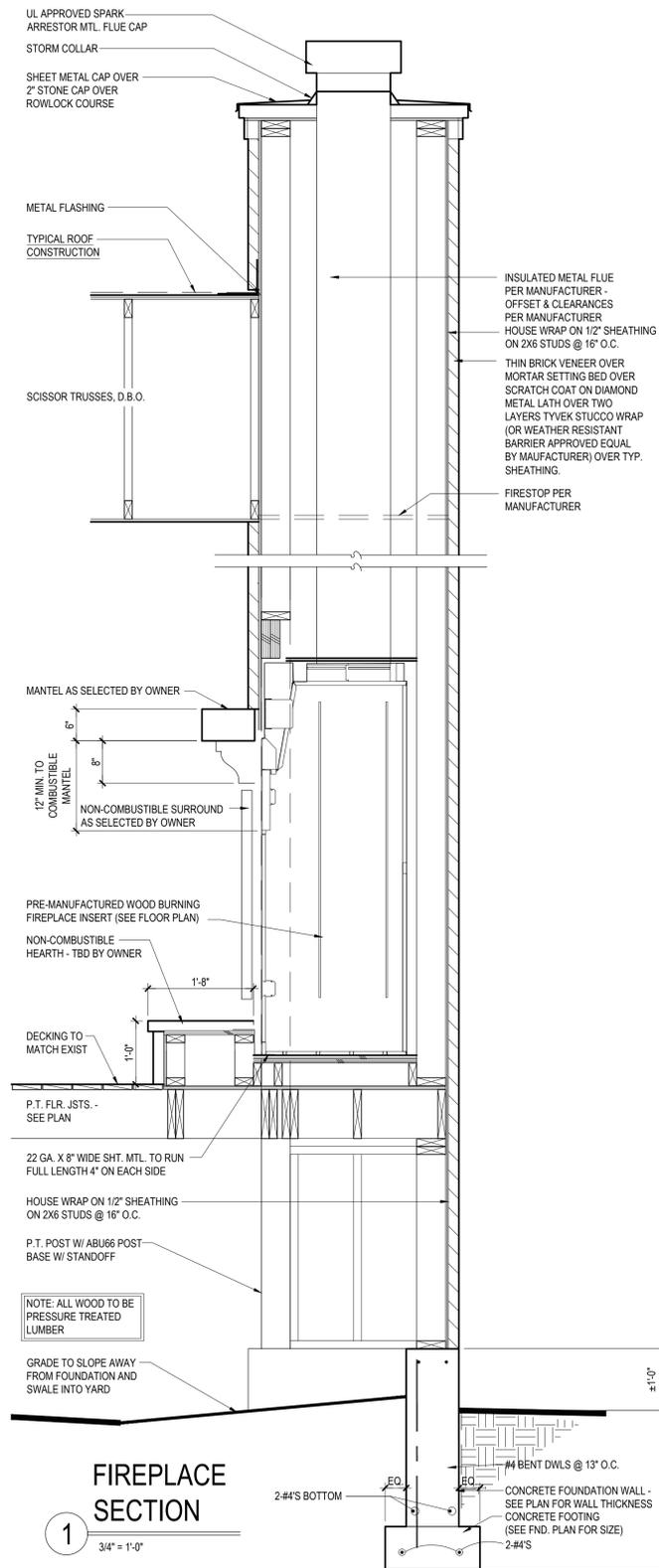
345 MARSHALL AVE. • SUITE 100 • ST. LOUIS, MO 63119  
PHONE: 314-662-6700 • FACSIMILE: 314-662-6702  
EMAIL: JIM@BCHARCHITECT.COM

PRELIMINARY  
NOT FOR  
CONSTRUCTION

COVERED PORCH FOR:  
**Sean and Megan Dolan**  
16 Cambridge Court  
Glendale, MO 63122

REAR AND RIGHT ELEVATIONS

sheet: **4** of 02

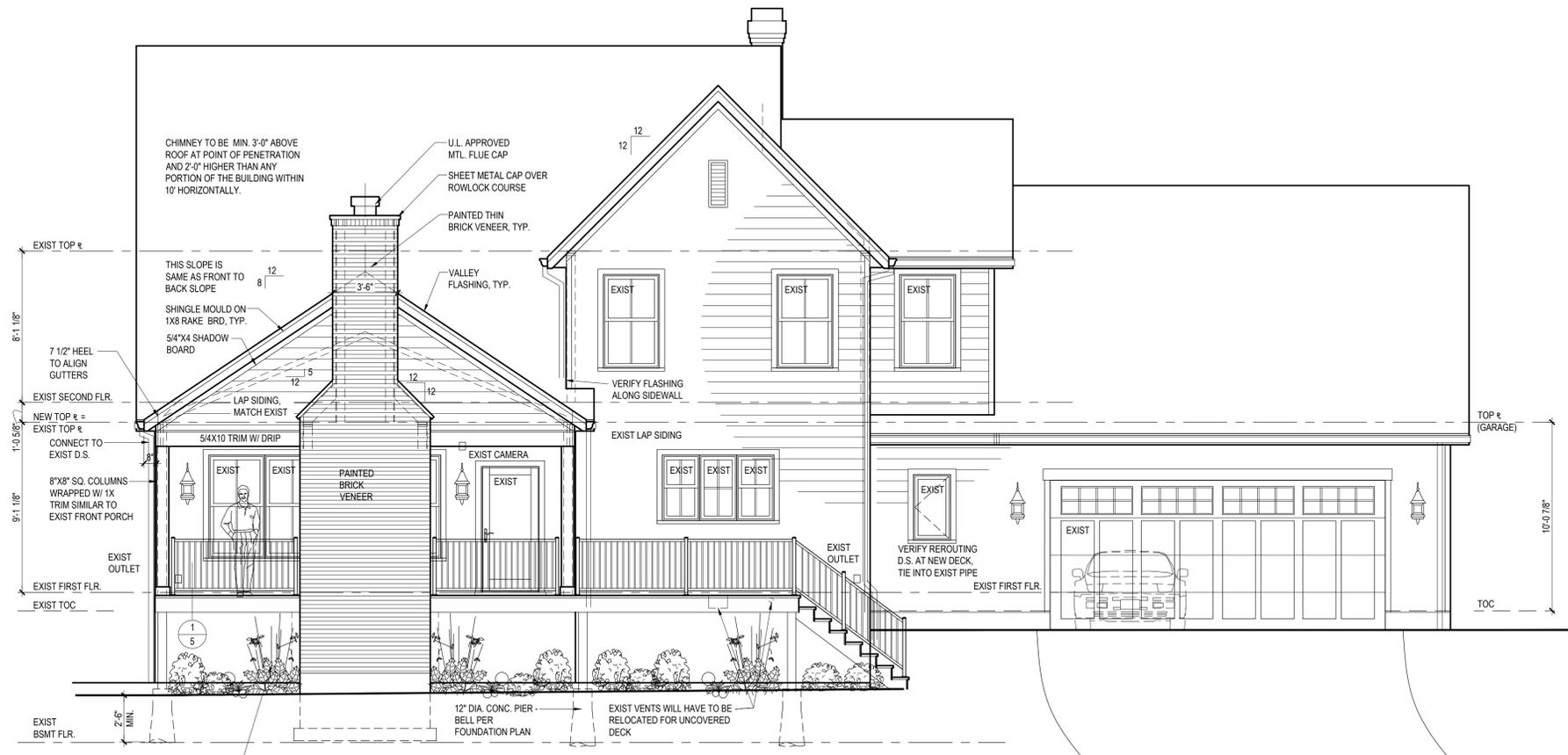


**FIREPLACE SECTION**

3/4" = 1'-0"



**RIGHT SIDE ELEVATION**



**REAR ELEVATION**

1/4" = 1'-0"

CONTRACTOR TO FIELD VERIFY DEPTH REQUIRED TO SET FOOTINGS. FOOTINGS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL AND SHALL BE MINIMUM 30" BELOW GRADE.





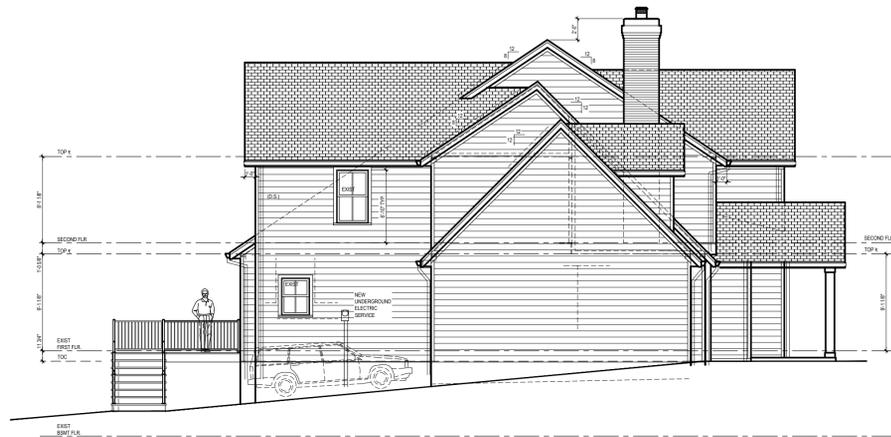
EXISTING RIGHT ELEVATION

1/8" = 1'-0"



EXISTING REAR ELEVATION

1/8" = 1'-0"



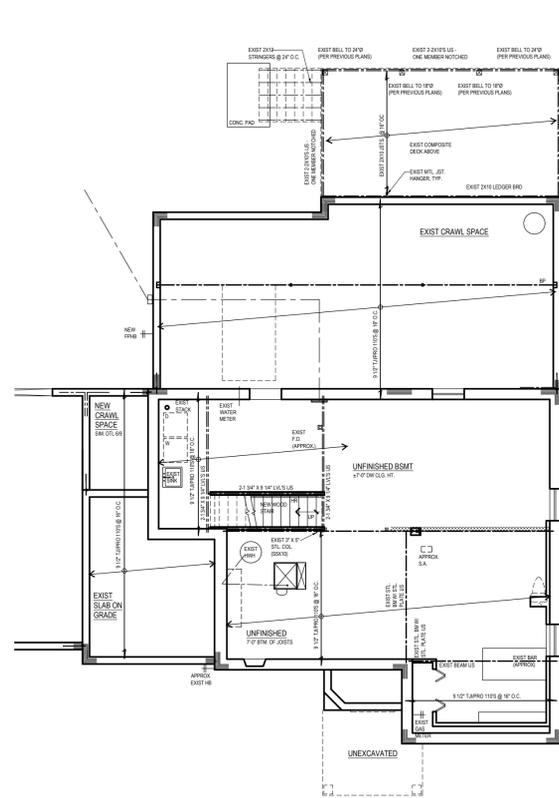
EXISTING LEFT ELEVATION

1/8" = 1'-0"



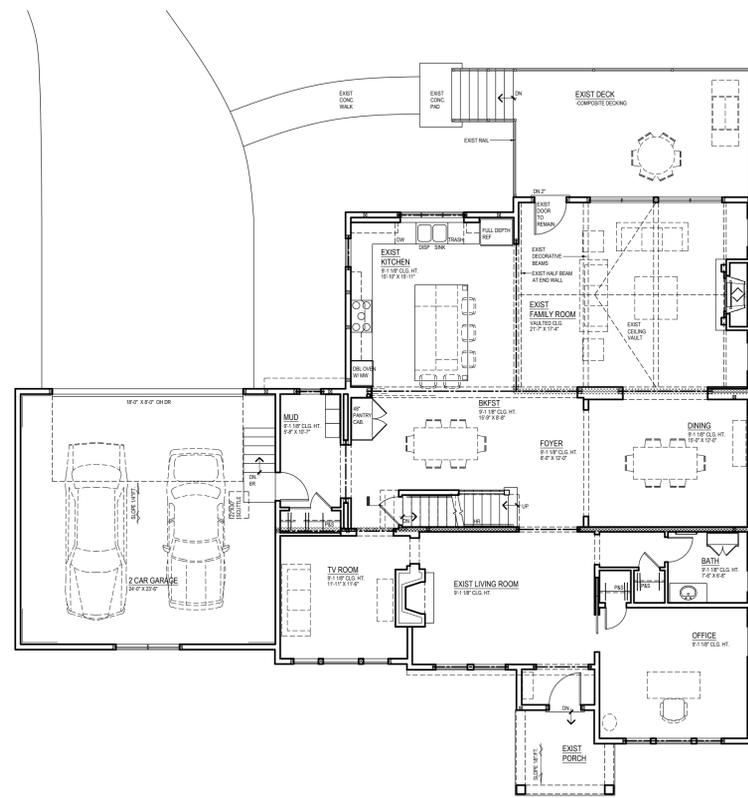
EXISTING FRONT ELEVATION

1/8" = 1'-0"



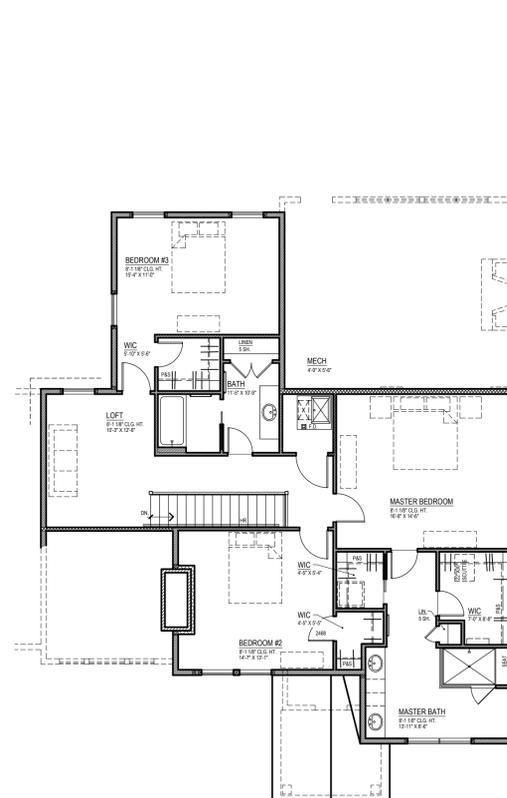
EXISTING FOUNDATION PLAN

1/8" = 1'-0"



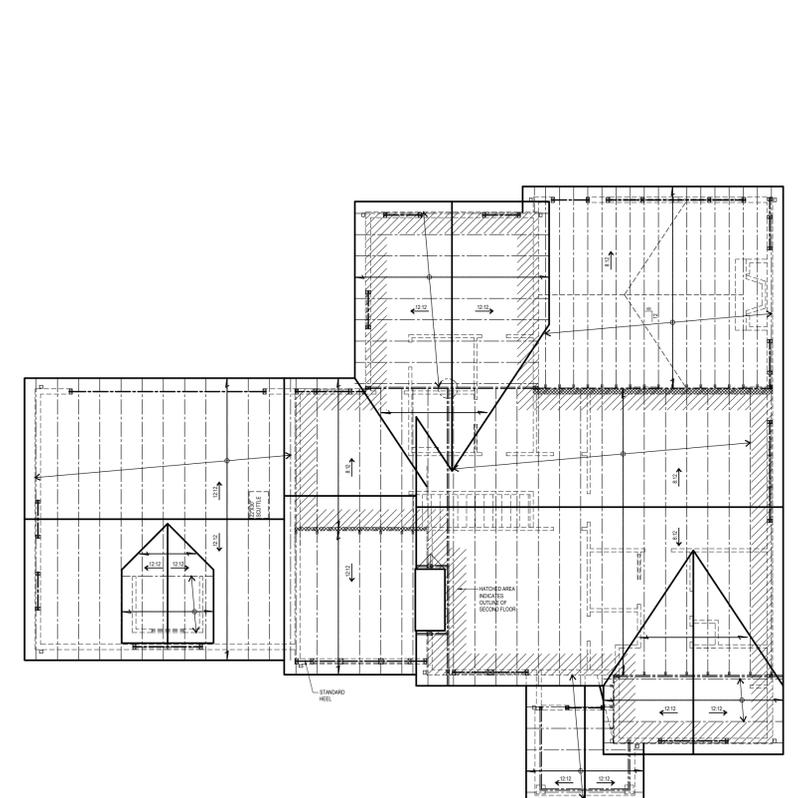
EXISTING FIRST FLOOR PLAN

1/8" = 1'-0"



EXISTING SECOND FLOOR PLAN

1/8" = 1'-0"



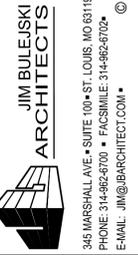
EXISTING ROOF PLAN

1/8" = 1'-0"

DEMOLITION NOTES

- DEMOLITION IS INTENDED TO BE USED ONLY AS A GUIDE. COMPLETE COORDINATION WITH EXTENT OF PROPOSED WORK IS REQUIRED. DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT OFFSITE DISPOSAL OF ALL PORTIONS OF BUILDING STRUCTURE INDICATED ON DRAWINGS TO BE REMOVED, AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVAL OF ALL MATERIALS RESULTING FROM DEMOLITION SHALL BE TRANSPORTED AND LEGALLY DISPOSED OF. COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL.
- THE ARCHITECT AND OWNER SHALL BE NOTIFIED OF ANY UNUSUAL CONDITIONS UNCOVERED DURING DEMOLITION THAT WERE NOT PROVIDED FOR AND MAY IMPEDE THE PROCESS OF DEMOLITION.
- DURING THE DEMOLITION/CONSTRUCTION PROCESS, CONTRACTOR SHALL PROTECT OTHER AREAS OF THE HOUSE FROM DUST AND DEBRIS. LAY PROTECTIVE COVERINGS OVER FINISHED FLOORS TO PROTECT THEM FROM TRAFFIC DAMAGE. CONSTRUCT TEMPORARY PARTITIONS AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION.
- ALL PARTITIONS, WINDOWS, DOORS, AND CABINETRY SHOWN DASHED SHALL BE REMOVED, INCLUDING ALL ELECTRICAL DEVICES WHICH SHALL BE REMOVED ALONG WITH PARTITIONS, AND WIRES SHALL BE KILLED AND REMOVED TO A POINT SO AS NOT TO INTERFERE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING SIDING DOWN TO EXISTING SHEATHING WHERE NEW SIDING WILL BE INSTALLED. VERIFY SUBSTRATE CONDITIONS WITH ARCHITECT BEFORE PROCEEDING WITH NEW SIDING.
- DOORS AND WINDOWS TO BE REMOVED (T.B.R.) SHALL ALSO HAVE ALL TRIM, CASING, JAMBHEAD BOARDS, AND HARDWARE REMOVED DOWN TO EXISTING FINISH. NOTE: SOME DOORS MAY BE SALVAGED FOR REUSE.
- MILLWORK: REMOVE AND SALVAGE EXISTING MILLWORK/MOLDINGS WHERE APPLICABLE FOR POSSIBLE REUSE.
- ALL UTILITIES (MECHANICAL, ELECTRICAL, ETC) SHALL NOT BE VISIBLE AT PROJECT COMPLETION. LOCATE IN WALL, FLOOR, OR ABOVE CEILING LINES AND PATCH/FINISH TO MATCH ADJACENT SURFACE. ITEMS THAT CANNOT BE CONCEALED SHALL BE ENCLOSED IN A DRYWALL FURRING CHASE WHETHER SHOWN OR NOT.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED.

date: 11/06/24  
prelim zoning check 11/12/24



JIM BULEJSKI ARCHITECTS  
345 MARSHALL AVE • SUITE 100A ST. LOUIS, MO 63119  
PHONE: 314-862-6700 • FACSIMILE: 314-862-6702  
EMAIL: JIM@JBARCHITECT.COM

PRELIMINARY NOT FOR CONSTRUCTION

COVERED PORCH FOR:  
Sean and Megan Dolan  
16 Cambridge Court  
Glendale, MO 63122

EXISTING DRAWINGS

sheet: AB1 of 02



# EXISTING REAR VIEW

FROM SOUTHEAST LOT CORNER (ON GLENVISTA PLACE)



# EXISTING REAR ELEVATION



# EXISTING REAR VIEW

FROM DRIVEWAY (ON GLENVISTA PLACE)



# EXISTING SIDE/NORTH ELEVATION



# EXISTING FRONT VIEW

FROM CAMBRIDGE CT.



# EXISTING SIDE/SOUTH ELEVATION

date: 11/06/24  
prelim zoning check 11/12/24

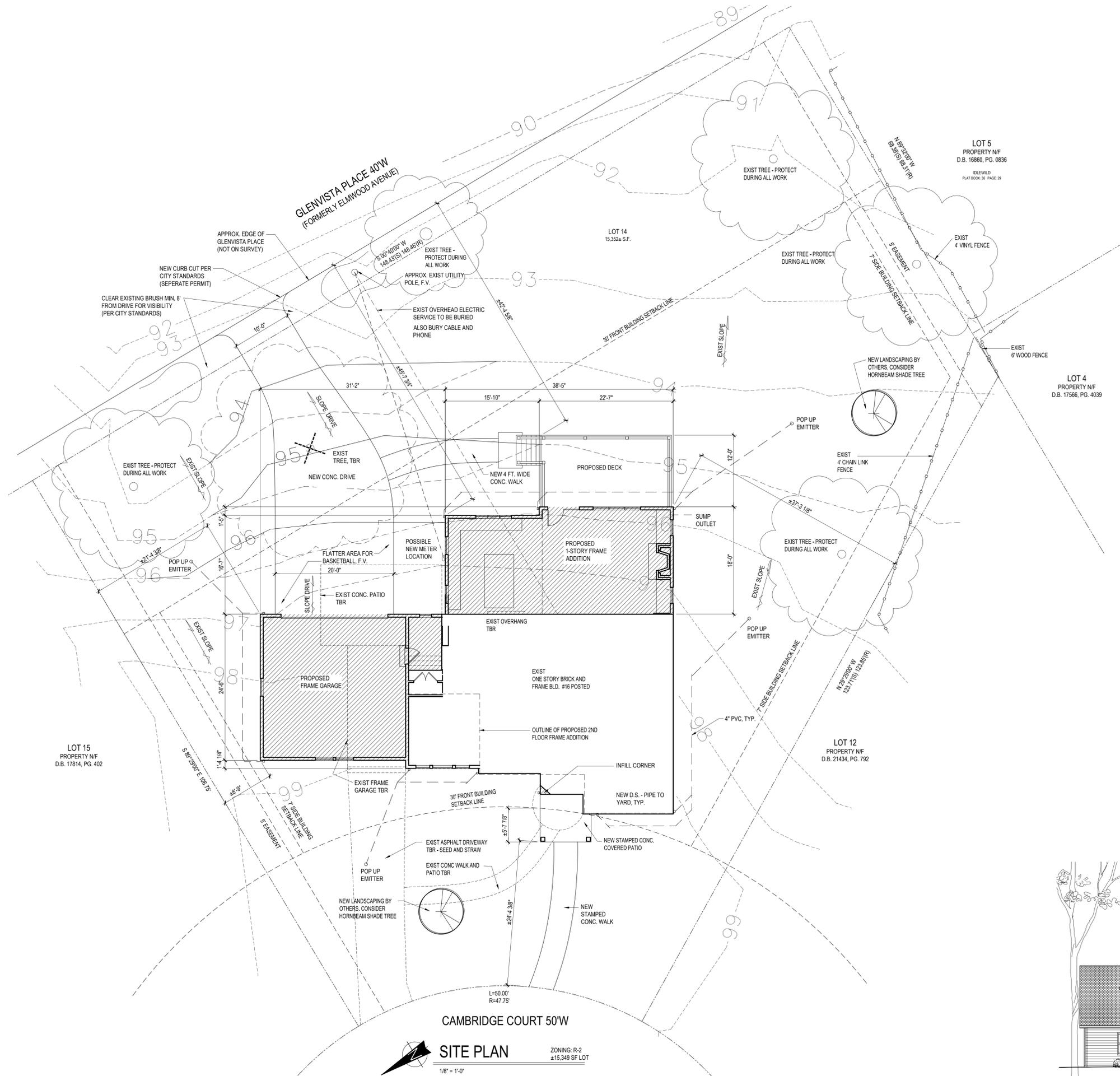
JIM BULEJSKI ARCHITECTS  
345 MARSHALL AVE. SUITE 100 ST. LOUIS, MO 63118  
PHONE: 314-962-5700 • FACSIMILE: 314-962-5702  
EMAIL: JIM@JBARCHITECT.COM

PRELIMINARY  
NOT FOR  
CONSTRUCTION

COVERED PORCH FOR:  
Sean and Megan Dolan  
16 Cambridge Court  
Glendale, MO 63122

EXISTING PHOTOS

sheet: 1 of 02



**SITE NOTES**

- UTILITIES: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO ANY GRADING AND/OR EXCAVATION, CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE SERVICE AND REPAIR DAMAGED UTILITIES, AT NO ADDITIONAL COST TO THE OWNER.
- DRAINTILE: INSTALL DRAIN TILE AROUND NEW CONSTRUCTION PER SECTIONS.
- SILTATION AND EROSION CONTROL: CONTRACTOR SHALL PROVIDE PROTECTION AT ALL ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAYS. CONTROL SHALL INCLUDE STRAW BALES OR OTHER METHODS THAT MAY BE REQUIRED BY LOCAL AUTHORITIES.
- TRENCH BACKFILL: ALL TRENCHES BENEATH ASPHALT OR CONCRETE PAVING SHALL BE BACKFILL WITH CRUSHED GRANULAR FILL MATERIAL.
- SITE DATA: THE FOLLOWING INFORMATION HAS BEEN FURNISHED BY THE OWNER OR OWNERS CONSULTANT. THE ARCHITECT MAY ASSIST IN OBTAINING THIS INFORMATION BUT ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY. PROPERTY BOUNDARY INFORMATION INDICATED HEREIN WAS OBTAINED FROM: MERIDIAN LAND SURVEYING, ST. CHARLES, MISSOURI, DATED APRIL 16, 2018. THIS PROPERTY INFORMATION SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS AS IF BOUND HEREIN. CONTRACTOR SHALL REFER TO FOR OTHER INFORMATION AND BE FAMILIAR WITH THIS DOCUMENTATION BEFORE PROCEEDING WITH CONSTRUCTION. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE PROCEEDINGS WITH WORK.
- DISCLAIMER: THE ARCHITECT DISCLAIMS ANY RESPONSIBILITY FOR ALL BOUNDARY, TOPOGRAPHIC, SITE RESTRICTIONS, EASEMENTS, BENCHMARKS, LEGAL DESCRIPTION, OR OTHER DOCUMENTS PREPARED BY THE ENGINEERS LISTED ABOVE. NOTE THAT THE PROPOSED SITE IMPROVEMENTS, I.E., NEW BUILDINGS AND GRADING HAS BEEN DRAWN ON THE SURVEY BY THE ARCHITECT. THE ARCHITECTS SEAL, IF ON THIS SHEET, APPLIES ONLY TO WORKING DRAWINGS PREPARED BY THE ARCHITECT.
- GENERAL CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL CITY AND SUBDIVISION REQUIREMENTS FOR PAVEMENT CONSTRUCTION WHERE DRIVEWAY ABUTS THE STREET.
- SEE SPECIFICATIONS FOR ADDITIONAL SITE RELATED INFORMATION.
- STAKEOUT: THE ADDITION SHALL BE STAKED OUT ON THE LOT BY A LICENSED SURVEYOR TO ASSURE COMPLIANCE WITH ALL SITE RESTRICTIONS EXISTING EASEMENTS, LOCAL AND SUBDIVISION SET BACK ORDINANCE, INDENTURES, AND EXISTING PROPERTY LINES. VERIFY ELEVATIONS (TOPO) AND LOCATION OF ADDITIONS WITH THE OWNER, BEFORE PROCEEDING WITH THE WORK.
- LANDSCAPING BY OTHERS.
- SITE CLEANING: TREES AND BRUSH, WHERE REQUIRED TO BE REMOVED OR INTERFERE WITH NEW CONSTRUCTION SHALL BE TAKEN DOWN, STUMPS REMOVED, AND HAULED AWAY.
- PROTECT ALL TREES TO REMAIN. COORDINATE ALL TREE MODIFICATIONS WITH OWNER, TREES TO REMAIN SHALL HAVE ROOTS PRUNED BY OWNERS LANDSCAPE CONTRACTOR IF NECESSARY. GENERAL CONTRACTOR SHALL FENCE OFF AREA USING TEMPORARY ORANGE FENCING OR EQUAL AROUND TREES THAT ARE ADJACENT TO CONSTRUCTION. THE INTENT IS TO AVOID DRIVING OR STORING HEAVY EQUIPMENT ON THE TREE ROOT SYSTEM.
- COORDINATE LOCATION FOR STOCKPILING OF TOPSOIL WITH OWNER.
- DRAINAGE SYSTEM: DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT. DISCHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET, PROPERTY LINE OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.

**FAR ASSESSMENT:**

15,352 SF LOT X .30 = 4606 SF MAX FLOOR AREA	
1,264 SF EXIST TOTAL FLOOR AREA	.08 FAR
3,347 SF W/ PROPOSED TOTAL FLOOR AREA	.22 FAR

**STORM WATER RUNOFF CALCULATIONS (PROVIDED BY SEE VANCE ENGINEERING, INC. DATED 5/20/19. SEE ATTACHED LETTER):**

LOT AREA: 15,352 SF	
EXISTING IMPERVIOUS COVERAGE:	PROPOSED IMPERVIOUS COVERAGE:
HOUSE: 1466 SF	HOUSE: 2591 SF
DRIVE: 367 SF	WALK (FRNT & REAR) 232 SF
PORCH/WALK: 132 SF	DRIVE: 787 SF
PATIO/WALK: 299 SF	TOTAL: 3610 SF
TOTAL: 2264 SF	

SEE ATTACHED LETTER FOR CALCULATIONS AND COMMENT ON EXISTING AND PROPOSED RUNOFF:

EXISTING RUNOFF = 0.69 CFS  
 PROPOSED RUNOFF = 0.74 CFS  
 DIFFERENTIAL RUNOFF = 0.05 CFS INCREASE

**LIST OF SHEETS**

- SITE PLAN
- FOUNDATION PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN AND STAIR SECTION
- ROOF PLAN AND BRACING DRAWINGS
- FRONT AND LEFT ELEVATION
- REAR AND RIGHT ELEVATION
- ELECTRIC PLANS
- SECTIONS & DETAILS
- AS BUILT DRAWINGS
- GENERAL NOTES

**LEGEND**

[Hatched Box]	NEW WALL / BRICK
[Dotted Box]	EXISTING WALL
[Cross-hatched Box]	BRG. WALL
[Diagonal Lines]	BRG. FROM ABV.
[Dashed Line]	WALL BRACING
[Dash-dot Line]	POST & HEADER
[Dotted Line]	GIRDER TRUSS
[Square]	MTL. HANGER
[Circle]	POST

**BUILDING CODE INFORMATION:**

CITY OF GLENDALE / ST. LOUIS COUNTY, MISSOURI  
 BUILDING: 2009 INTERNATIONAL RESIDENTIAL CODE  
 PLUMBING: 2009 UNIFORM PLUMBING CODE  
 MECHANICAL: 2009 INTERNATIONAL MECHANICAL CODE  
 ELECTRICAL: 2008 NATIONAL ELECTRIC CODE



**date:** ARB: 04/01/19  
 ARB: 04/18/19  
 STORMWATER: 05/21/19  
 PERMIT: 06/05/19

**JIM BULEJSKI ARCHITECTS**

345 MARSHALL AVE. • SUITE 100A ST. LOUIS, MO 63119  
 PHONE: 314-662-6700 • FACSIMILE: 314-662-6702  
 EMAIL: JIM@BARCHITECT.COM •

ADDITION AND REMODEL FOR:  
**Sean and Megan Dolan**  
 16 Cambridge Court  
 Glendale, MO 63122

**SITE PLAN**

sheet: **1** of 11

**SITE PLAN**  
 ZONING: R-2  
 ±15,349 SF LOT  
 1/8" = 1'-0"

Rec. 12/12/25  
JG



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

## APPEAL TO THE BOARD OF ADJUSTMENT

APPLICANT: DANIEL GARGAN DATE: 2.13.25  
 PROPERTY OWNER: DANIEL GARGAN ZONING DISTRICT: R1  
 ADDRESS of PROPERTY: 400 PARKLANDS AVE. Glendale, MO 63122  
 TELEPHONE: Day (215) 292 2057 Home ( ) \_\_\_\_\_

### Section 1: Basis for Granting Variances:

A variance can only be granted when the strict application of the zoning regulations of Chapter 400 of the Glendale Municipal Code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property by reason of at least one of the following:

- a. *Area Variances.* When, by reason of exceptional narrowness, shallowness or shape of a specific piece of property on April 24, 1963, or by reason of exceptional topographical conditions or other extraordinary or exceptional situation or condition of a specific piece of property, which condition is not generally prevalent in the neighborhood, the strict application of the area regulations of this Chapter would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property, the Board is hereby empowered to authorize upon an appeal relating to such property, a variation from such strict application so as to relieve such difficulty or hardships.
- b. *Use Variances.* The Board of Adjustment is empowered to grant use variances only upon findings that all of the following five factors are established:
  1. The applicant will be deprived of all beneficial use of the property under any of the permitted uses in the zoning district in which the property is located, all beneficial use being lost only where the property is not suitable for any use permitted in the City's zoning ordinance for that zoning district; and
  2. The applicant has sufficiently demonstrated unnecessary hardship by expert testimony and/or documentation and not mere conclusionary or lay opinion that the property in question cannot yield a reasonable return if used only for a purpose or purposes permitted in the zoning district in which that property is located; and
  3. The plight of the owner is due to exceptional or unique circumstances and not due to general conditions in the neighborhood; and
  4. The use to be authorized by the variance would not alter the essential character of the neighborhood; and
  5. The proposed use to be authorized by the use variance would not constitute a change in the district map, impair an adequate supply of light and air to adjacent property, increase congestion in public streets, increase the danger of fire, materially diminish or impair established property values within the surrounding area and would not in any other respect impair the public health, safety, comfort, morals and welfare of the City.

For details of the Board's authority to grant a variance, see Sections 400.910-400.970 of the Glendale Code.

Please note that the desire to use certain space, whether interior or exterior, in a particular manner is not a basis for the Board to grant a variance.

## Appeal to the Board of Adjustment

Our appeal to the Board for an adjustment is justified for various reasons under Section 1: Basis for Granting Variances.

Under Section 400.490 Powers Generally, section A2a, the Board of Adjustment has the power to authorize a variation from the strict application so as to relieve such difficulty or hardships as a result of the shape of our specific piece of property. Being located at 400 Parkland, on the corner of Parkland & Essex, the piece of property we own has a shortened perimeter on the east property line running N to S.

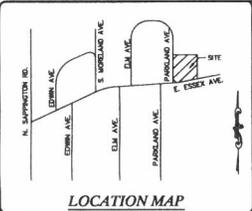
Our intention is to add a garage to our home. Being built in 1956, as it is currently constructed, the garage is intended to be a two car garage. Automobiles have significantly changed in the 69 years since our home was built, and neither one of our cars fit in the current size of our garage. We own two midsize SUV's. We endured a hardship of \$18,000 worth of hail damage last year due to the inability to put our vehicles in our garage.

The plot of our land grades lower from N to S, which would aid in creating a deeper garage, and not have to raise the structure to impede on second story windows. The home is situated in a way that creates 90 degree angles with the NW and NE corners of the plat of land. When you add the square footage necessary for the garage, the construction plans have the SW corner of the garage within the building line and the SE corner of the garage slightly over the building line at 16' from the easement plat. Even with the edge of the newly constructed garage inching over the building line at two points of 11.54' & 12.14' from the easement plat, it would still be further from the easement lines compared to multiple homes on similar corner lots in the same Zone.

Please refer to the Adjacent House Exhibit to see two of the other three corners at this intersection to show corners of their properties at distances of 14.10', 9.34', 10.45', 5.82'. The average of all three other homes at this intersection is 12.93' from the easement plats.

We believe this adjustment to be well within reason, and fall within the need for an area variance that causes undue hardship and practical difficulties.

**A TRACT OF LAND BEING LOT 16 OF "PARKLAND HILLS" (P.B. 79, PG. 9) LOCATED IN SECTION 31, TOWNSHIP 45 NORTH, RANGE 6 EAST, CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI**



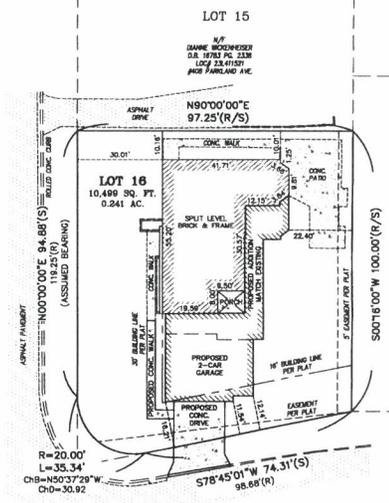
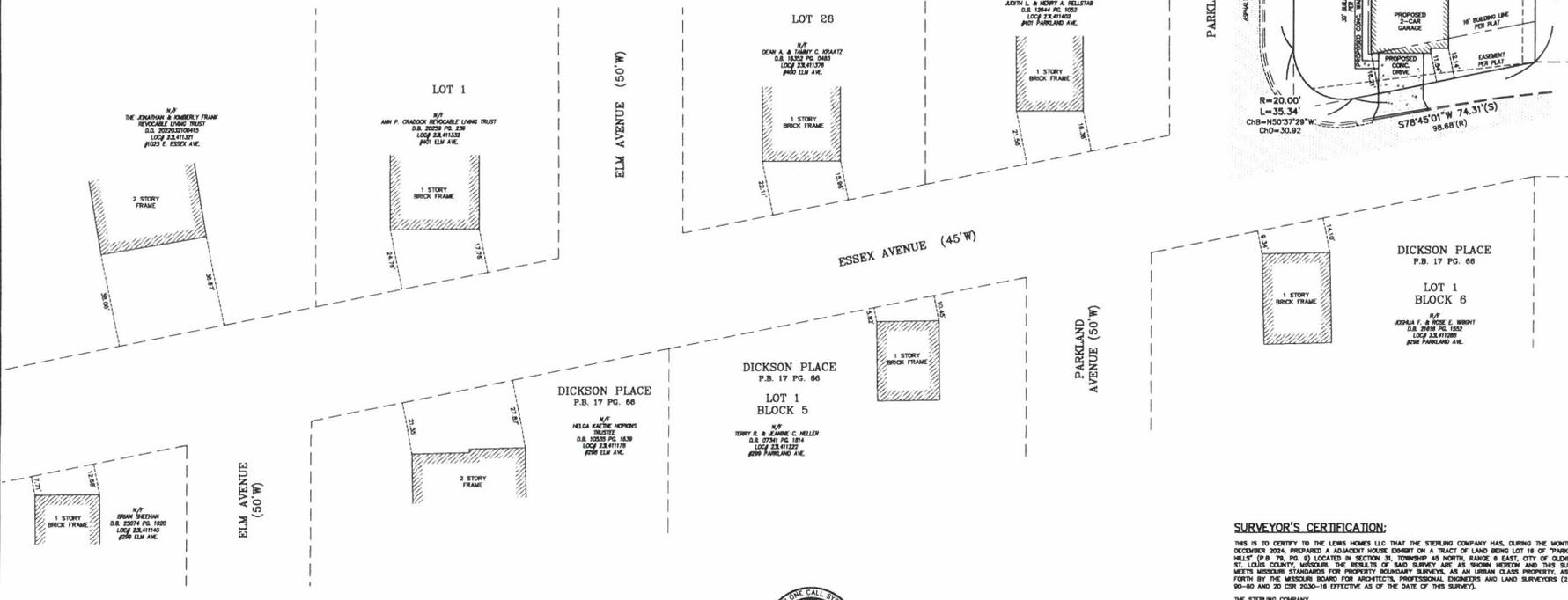
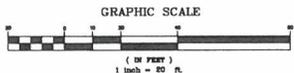
**SITE INFO:**  
 N/P THE DANIEL C. & KELLY L. GARGAN REVOCABLE LIVING TRUST  
 D.B. 23833 PG. 283  
 LOC. 23.41143  
 10,499 SQ. FT. OR 0.241 AC.±

**TITLE NOTES**

1. CURRENT TITLE COMMITMENT OF THE SUBJECT TRACT HAS NOT BEEN PROVIDED TO THE SURVEYOR. IT IS POSSIBLE THERE ARE EASEMENTS AND OTHER INSTRUMENTS OF RECORD THAT AFFECT THE SUBJECT TRACT THAT WOULD BE EXPRESSED IN THE TITLE COMMITMENT REPORT AND ARE UNKNOWN TO THE SURVEYOR AT THE TIME OF SURVEY. THIS SURVEY WAS EXECUTED AND THEREFORE NOT PLOTTED HEREON. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. BUILDING LINES AND EASEMENTS OF THE SUBJECT TRACT ARE SHOWN PER PLAT BOOK 79 PAGE 9.

**SURVEYOR'S NOTES**

1. THIS TRACT CONTAINS 10,499 SQUARE FEET OR 0.241 ACRES MORE OR LESS.
2. BASIS OF BEARING: THE BEARINGS ARE ASSUMED.
3. SOURCE OF RECORD: TITLE: THE DANIEL C. & KELLY L. GARGAN REVOCABLE LIVING TRUST IS DESCRIBED AS THE OWNER AS RECORDED IN DEED BOOK 23833 PAGE 283 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
4. THE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.041 (3)(b)) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR REFERENCED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REVEALS.



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SUCH UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY RELIEVE ANY PARTY FROM COMPLIANCE WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.



**CALL BEFORE YOU DIG!**  
 1-800-DIG-RITE

**SURVEYOR'S CERTIFICATION:**  
 THIS IS TO CERTIFY TO THE LEWIS HOMES LLC THAT THE STERLING COMPANY HAS, DURING THE MONTH OF DECEMBER 2024, PREPARED A NEIGHBORHOOD HOUSE EXHIBIT ON A TRACT OF LAND BEING LOT 16 OF "PARKLAND HILLS" (P.B. 79, PG. 9) LOCATED IN SECTION 31, TOWNSHIP 45 NORTH, RANGE 6 EAST, CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI. THE RESULTS OF SAID SURVEY ARE AS SHOWN HEREON AND THIS SURVEY MEETS MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS, AS AN URBAN CLASS PROPERTY, AS SET FORTH BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS AND LAND SURVEYORS (2 CSR 90-80 AND 20 CSR 2000-16 EFFECTIVE AS OF THE DATE OF THIS SURVEY).  
 THE STERLING COMPANY  
 MO. REG. 307-D



JAMES A. HEDRICK, P.E.  
 NO. 1888, L.R. #007017965

ISSUE/REVISION/DATE	ORIGINAL ISSUE
2	

PREPARED FOR:  
**Lewis Homes LLC**  
 335 Laffayette Ave Suite 100  
 Kirwood, MO 63122  
 (314) 513-1914

PREPARED BY:  
**THE STERLING CO.**  
 ENGINEERS & SURVEYORS  
 5001 S. GARDNER AVE.  
 ST. LOUIS, MISSOURI 63109  
 (314) 482-0440  
 E-Mail: Sales@sterling-co.com  
 COMP. CITY OF ARCHITECT: 800-448

DRAWN:	CA.D.	DESIGNED:	J.E.W.
CHECKED:	J.E.W.	PROJECT:	#400 PARKLAND AVENUE
PROJECT:	#400 PARKLAND AVENUE	ADJACENT HOUSE EXHIBIT	
NO. 24	215	M.B.D.	SHEET
1	1	OF	

Drawn: James A. Hedrick, P.E. (Surveyor) / Surveyed: James A. Hedrick, P.E. (Surveyor) / Printed: 01/25/25 / 2:45pm / Printed by: cdb

# 400 Parkland Ave

## FLOOR AREA RATIO:

Lot Area 10,499 sq ft

### Existing Conditions:

House First Floor 944.9 sq ft  
House Second Floor 903.2 sq ft  
House Total 1848.1 sq ft

House Third Floor 972.1sq ft

### Proposed Additions:

First Floor 452.9 sq ft  
Second Floor 185.9 sq ft  
Third Floor 000.0 sq ft  
Garage Addition 705 sq ft

Attached Garage (50%) 352.5 sq ft

Total Floor Area 2839.43sq ft

Floor area Ratio 27.04%

Maximum FAR is .3 or 30% or 3500 sq ft whichever is greater

30% of 10,499 sq ft is 3149.7 sq ft



**Install and maintain tree protection fence as indicated on preservation plan for all trees marked PRESERVE. Silt protection shall be installed in a trenchless manner if introduced within the critical root zone of any tree to be PRESERVED. ( I.E. woodchips, wattles, and hay bales)**

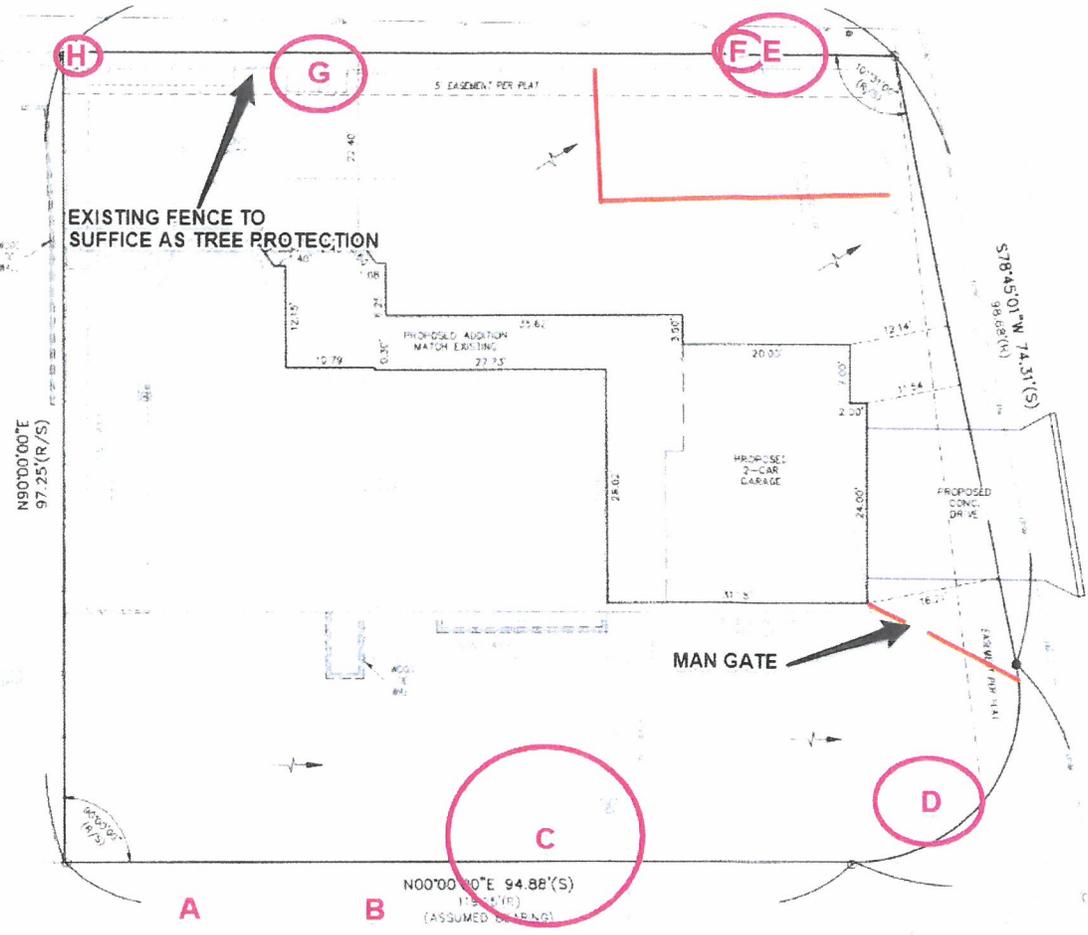
I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence must meet all of the requirements set forth by the city of Glendale and is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

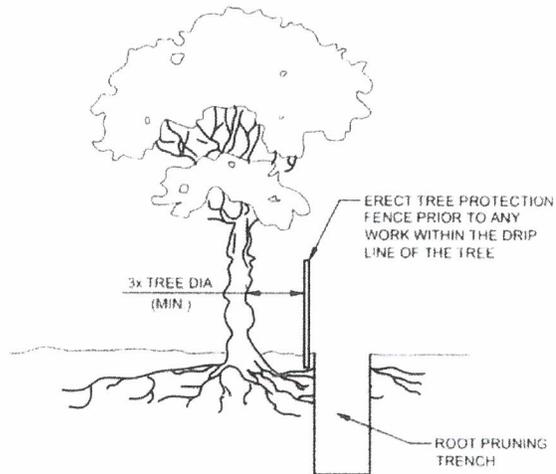
A handwritten signature in blue ink, appearing to read "Nick Wibbenmeyer".

Nick Wibbenmeyer  
I.S.A. Certified Arborist  
MW 6357A



**PRESERVE  
TBR  
TREE  
PROTECTION  
FENCE** ———





#### NOTES.

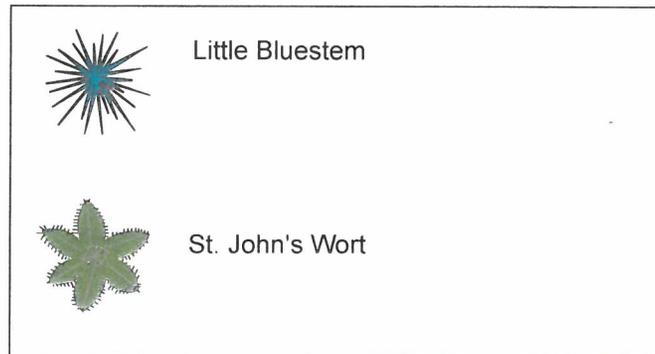
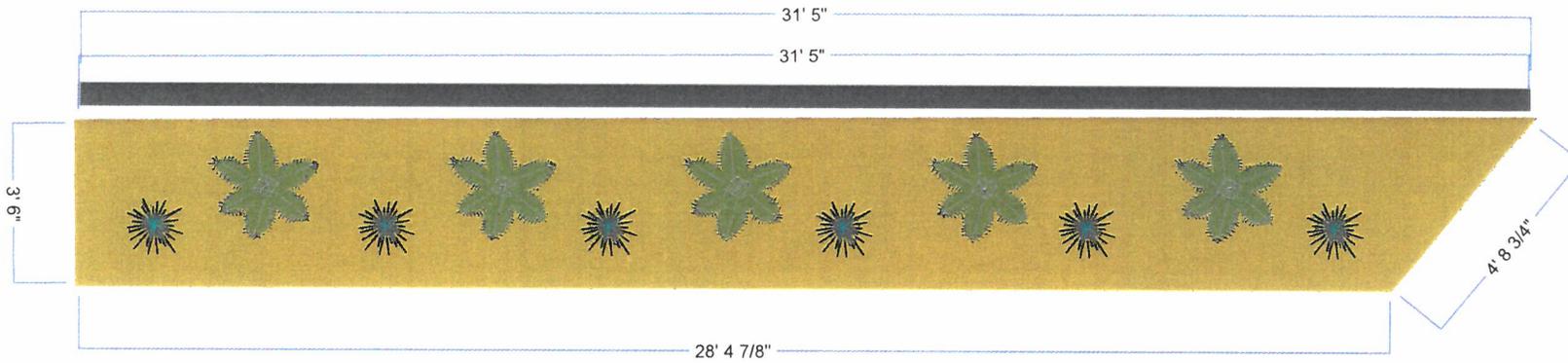
1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE. PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERRED TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

#### NOTES (CONT.)

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

#### DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
  - 1.1 USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES.
  2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER TO THE DEPTH OF THE PROPOSED DISTURBANCE.
    - 2.1 APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER, GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT.
    - 2.2 YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS.
    - 2.3 ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES.
3. POST PRUNING
  - 3.1 TREE ROOTS MUST BE KEPT MOIST. IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP.
  - 3.2 FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.



400 Parkland Avenue



# South side of East Monroe Avenue



400 Parkland Avenue



408 Parkland Avenue



412 Parkland Avenue



424 Parkland Avenue



423 Parkland Avenue



415 Parkland Avenue

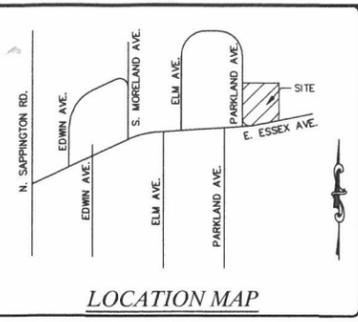
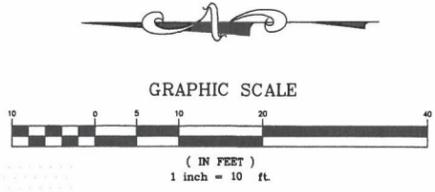


407 Parkland Avenue



401 Parkland Avenue

**A TRACT OF LAND BEING LOT 16 OF "PARKLAND HILLS" (P.B. 79, PG. 9),  
LOCATED IN SECTION 31, TOWNSHIP 45 NORTH, RANGE 6 EAST,  
CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI**



**SITE INFO:**  
N/F THE DANIEL C. & KELLY L. GARGAN  
REVOCABLE LIVING TRUST  
D.B. 23635 PG. 265  
LOC. # 23L411453  
#400 PARKLAND AVE  
10,499 SQ. FT. OR 0.241 AC.±

- LEGEND:**
- TREE LINE
  - STILT FENCE
  - FENCE LINE
  - UNDERGROUND CATV LINE
  - UNDERGROUND ELECTRIC LINE
  - UNDERGROUND WATER LINE
  - UNDERGROUND TELEPHONE LINE
  - UNDERGROUND GAS LINE
  - OVERHEAD ELECTRIC
  - OVERHEAD WIRE
  - UNDERGROUND SEWER LINE BUILDING
  - LIGHT STANDARD
  - YARD LIGHT
  - UTILITY POLE
  - UTILITY POLE W/ LIGHT
  - UTILITY POLE W/ TRANSFORMER
  - GUY WIRE
  - TRAFFIC SIGNAL
  - WATER SPIGOT
  - ELECTRIC METER
  - WATER METER
  - GAS METER
  - WATER VALVE
  - GAS VALVE
  - GAS DRIP
  - ELECTRIC BOX
  - CABLE TV BOX
  - TELEPHONE BOX
  - TELEPHONE MANHOLE
  - ELECTRIC MANHOLE
  - STREET/ROAD SIGN
  - MISC. POLE/POST
  - PARCEL TIE (SAME OWNER)
  - FIRE HYDRANT
  - UTILITY MANHOLE
  - MAIL BOX
  - A/C UNIT
  - SANITARY MANHOLE
  - SANITARY CLEANOUT
  - STORM MANHOLE
  - CURB INLET / AREA INLET
  - GRATE MANHOLE
  - GRATE INLET
  - BUSH/SHRUB
  - TREE
  - SURFACE FLOW
  - SURFACE FLOW WITH SLOPE
  - 
  - 
  - 
  - 
  - 
  - 
  - 
  - 
  - 
  -

- ABBREVIATIONS:**
- CONC. - CONCRETE
  - N/F - NOW OR FORMERLY
  - P.B. - PLAT BOOK
  - D.B. - DEED BOOK
  - D.D. - DEED DOCUMENT
  - PG. - PAGE
  - SQ. FT. - SQUARE FEET
  - (R) - RECORD
  - (S) - SURVEY
  - RAD. - RADIAL
  - FF - FINISH FLOOR
  - TF - TOP FOUNDATION
  - BF - BASEMENT FLOOR
  - UIP - USE IN PLACE
  - TBR - TO BE REMOVED
  - DS - DOWNSPOUT
  - F/P - FIREPLACE
  - W/W - WINDOW WELL
  - APPRO. - APPROXIMATE
  - EX. - EXISTING
  - PROP. - PROPOSED

**NOTE:**  
THE PROFESSIONAL'S SEAL THAT APPEARS ON THIS SHEET ONLY CERTIFIES FOR THE PREPARATION OF THE PLOT PLAN FOR THE ADDITIONS AND THE STORM WATER CALCULATIONS; NO EXISTING FIELD TOPOGRAPHY WAS PERFORMED. CONTRACTOR SHALL VERIFY THE EXISTING FIELD TOPOGRAPHY PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

**SITE NOTES:**

- THIS TRACT CONTAINS 10,499 SQUARE FEET OR 0.241 ACRES MORE OR LESS.
- BASIS OF BEARING: THE BEARINGS ARE ASSUMED.
- SOURCE OF RECORD TITLE: THE DANIEL C. & KELLY L. GARGAN REVOCABLE LIVING TRUST IS DESCRIBED AS THE OWNER AS RECORDED IN DEED BOOK 23635 PAGE 265 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMO) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.
- NO EXISTING FIELD TOPOGRAPHY WAS PERFORMED BY THE STERLING COMPANY. THE STERLING COMPANY ASSUMES NO RESPONSIBILITY FOR ANY ERRORS WITH EXISTING FIELD TOPOGRAPHY.
- CONTRACTOR SHALL VERIFY THE EXISTING FIELD CONDITION PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY ALL UTILITY LOCATIONS AND DEPTHS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- THE UTILITY CONNECTION LOCATION AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THIS PLAN IS ONLY FOR THE PREPARATION OF THE PLOT PLAN FOR THE ADDITIONS AND THE STORM WATER CALCULATIONS.

**ZONING INFO:**

"R"-1 SINGLE FAMILY RESIDENTIAL  
FRONT SETBACK:  
ON PARKLAND AVENUE: 30' PER P.B. 79, PG. 9  
ON ESSEX AVENUE: 16' PER P.B. 79, PG. 9  
REAR SETBACK: 30'  
SIDE SETBACK: 10% OF THE WIDTH OF THE LOT = 10' x 113.3' = 11.33'  
(THE WIDTH OF THE LOT MEASURED AT 30' FRONT SETBACK)  
HEIGHT: 35' / 2 1/2 STORIES

**TITLE NOTES:**

A CURRENT TITLE COMMITMENT OF THE SUBJECT TRACT HAS NOT BEEN PROVIDED TO THE SURVEYOR. IT IS POSSIBLE THERE ARE EASEMENTS AND OTHER INSTRUMENTS OF RECORD THAT AFFECT THE SUBJECT TRACT THAT WOULD BE EXPOSED IN THE TITLE COMMITMENT REPORT AND ARE UNKNOWN TO THE SURVEYOR AT THE TIME OF SURVEY WAS EXECUTED AND THEREFORE NOT PLOTTED HEREON. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. BUILDING LINES AND EASEMENTS OF THE SUBJECT TRACT ARE SHOWN PER PLAT BOOK 79 PAGE 9.

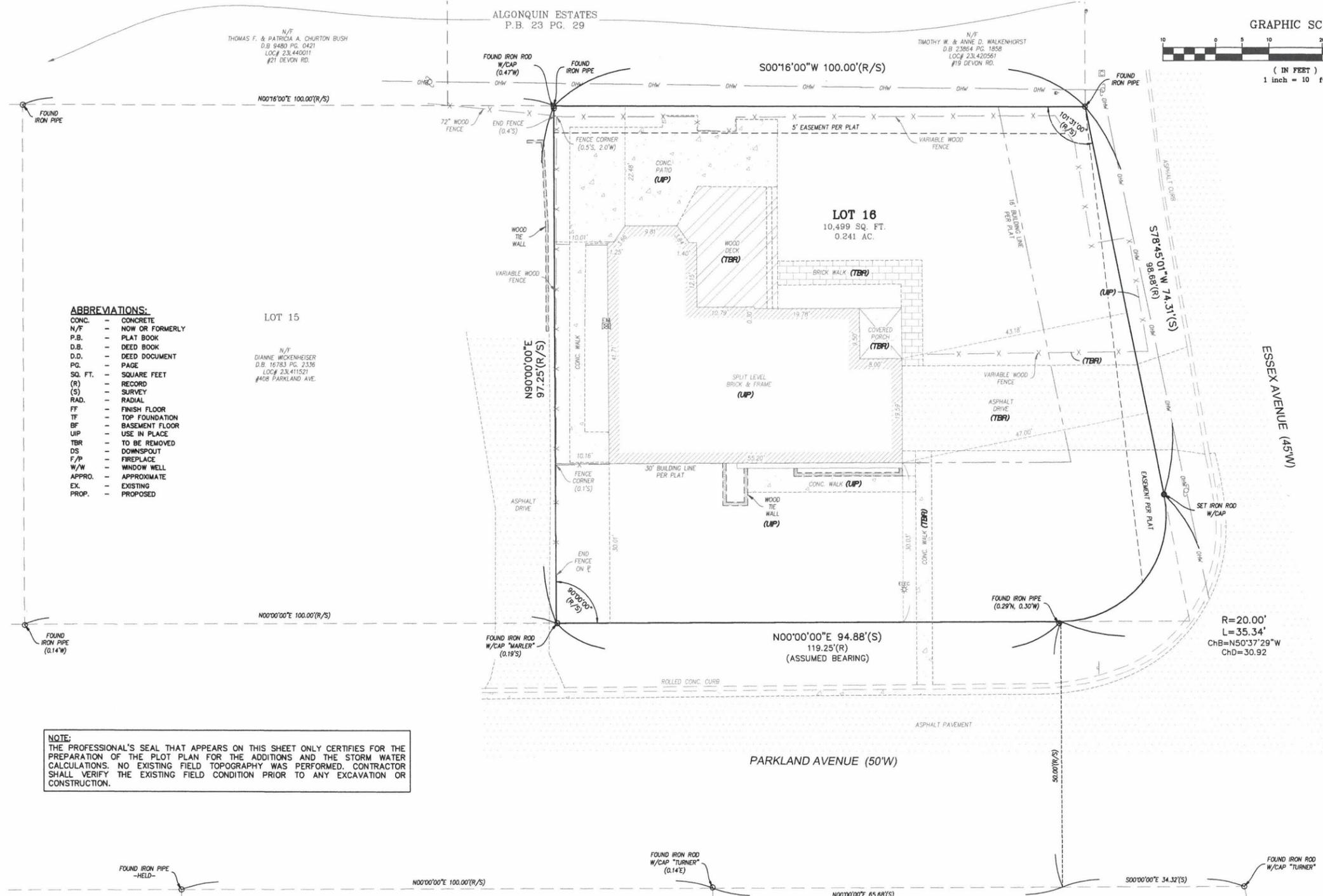
Plot Plan Prepared by  
**THE STERLING COMPANY (314) 487-0440**

- Notes:**
- Finished grades at the building to be a minimum of 8 inches below top of foundation for wood frame and 6 inches below for wood frame with brick veneer.
  - All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with section R310.1.
  - Grade shall be noted to slope away from foundation a minimum of a 6 inch drop or min. 5% within the first 10 feet or to a swale.
  - Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
  - This plot plan conforms to "GLENDALE CODE".
  - Elevation Examples: 714.0(E)=Existing Elevation, 714.0(P)=Proposed Elevation.

THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

THE STERLING COMPANY  
MO. REG. 307-D

JAMEY A. HENSON, P.L.S. - VICE PRESIDENT DATE  
MO. REG. L.S. #2007017963



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THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

ISSUE	REMARKS/DATE
1	
2	
3	

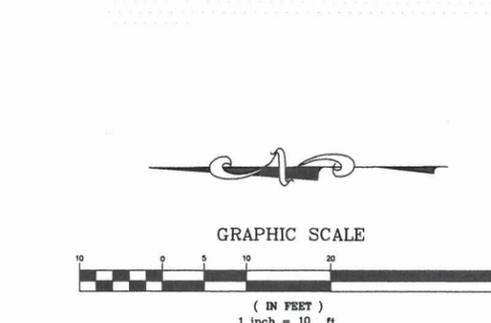
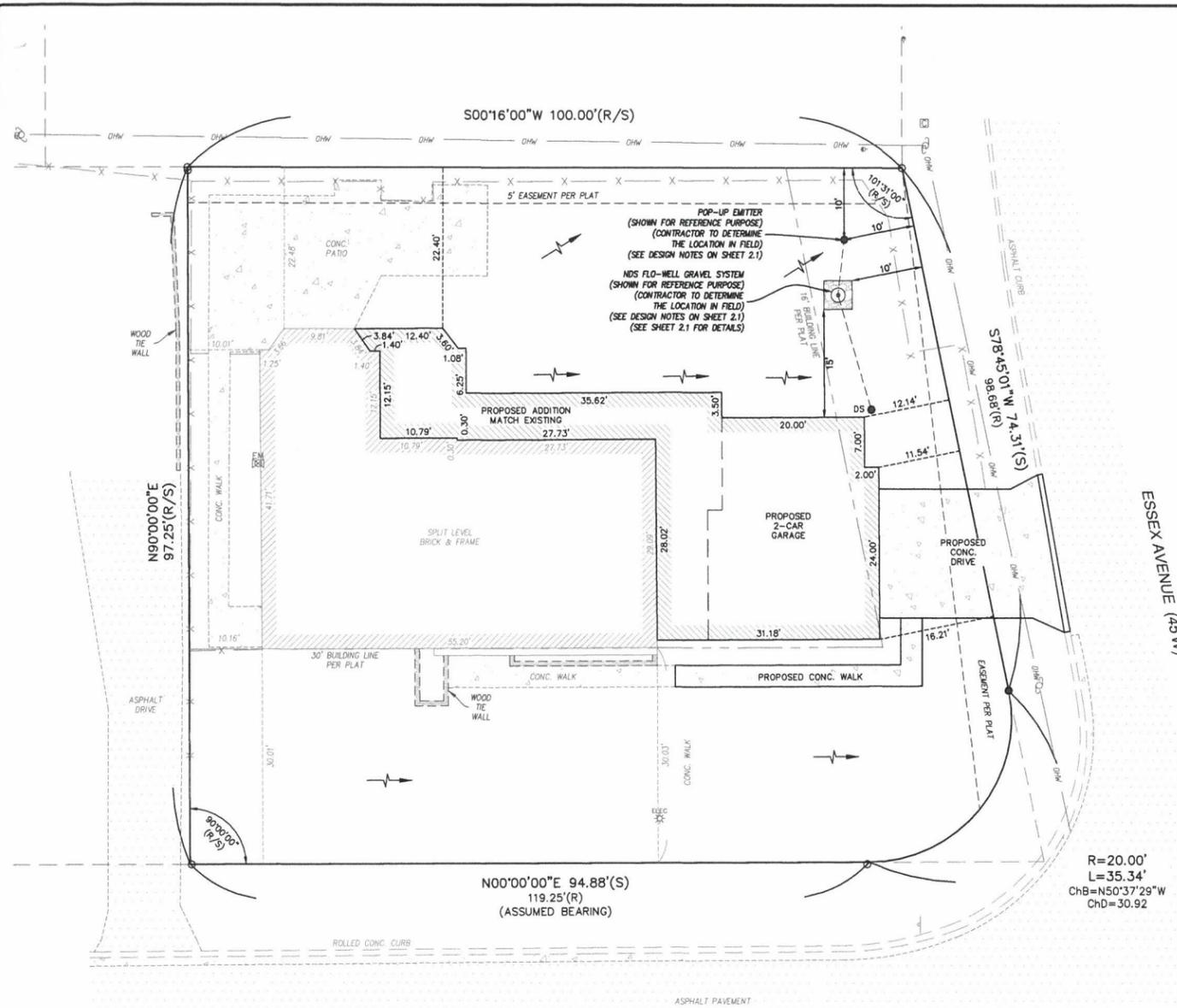
**DANIEL C. &  
KELLY L. GARGAN**  
400 PARKLAND AVENUE  
GLENDALE, MO 63122

**THE STERLING CO.**  
**ENGINEERS & SURVEYORS**  
5055 New Baumgartner Road  
J-1487-0440, Fax: 314-487-8944  
www.sterling-eng-survey.com  
Corporate Certificate of Authority #001348

**#400 PARKLAND AVENUE**  
GLENDALE, MISSOURI 63122  
EXISTING CONDITIONS / DEMOLITION PLAN  
PLOT PLAN FOR ADDITIONS

NOT APPROVED FOR CONSTRUCTION! FOR REVIEW ONLY!  
Date: Henry H. Huynh, PE License # PE-2022036627 Professional Engineer

Job Number: **24-09-215**  
Date: **11/15/2024**  
Designed: HHH Sheet: **1.1**  
Drawn: HHH  
Checked: MGB PP



**EXISTING IMPERVIOUS:**

EX. HOUSE	= 1,779 S.F.
EX. DRIVE	= 734 S.F.
EX. WALK	= 590 S.F.
EX. PATIO	= 649 S.F.
EX. PORCH	= 76 S.F.
EX. DECK	= 365 S.F.
<b>TOTAL</b>	<b>= 4,163 S.F. OR 39.65%</b>

**PROPOSED IMPERVIOUS:**

EX. HOUSE	= 1,854 S.F.
EX. WALK	= 361 S.F.
EX. PATIO	= 649 S.F.
PROP. ADDITION	= 1,344 S.F.
PROP. DRIVE	= 255 S.F.
<b>TOTAL</b>	<b>= 4,463 S.F. OR 42.51%</b>

**GREEN SPACE CALCULATIONS**

LOT AREA	= 10,499 S.F.
TOTAL IMPROVEMENTS	= 4,463 S.F.
TOTAL PERVIOUS AREA	= 6,036 S.F.
<b>GREEN SPACE AREA</b>	<b>= 57.49%</b>

**DIFFERENTIAL RUNOFF CALCULATIONS**

PREDEVELOPED	
IMPERVIOUS AREA	4,163 S.F. = 0.096 Ac. X 3.54 = 0.340 cfs
PERVIOUS AREA	6,336 S.F. = 0.145 Ac. X 1.70 = 0.247 cfs
<b>TOTAL</b>	<b>0.241 Ac. = 0.587 cfs</b>
POSTDEVELOPED	
IMPERVIOUS AREA	4,505 S.F. = 0.103 Ac. X 3.54 = 0.365 cfs
PERVIOUS AREA	5,994 S.F. = 0.138 Ac. X 1.70 = 0.235 cfs
<b>TOTAL</b>	<b>0.241 Ac. = 0.600 cfs</b>

**CONCLUSION FOR PROPOSED DEVELOPMENT**

DIFFERENTIAL STORM WATER RUNOFF (BASED ON 15-YEAR 20-MINUTE STORM)

DIFFERENTIAL RUNOFF = PROPOSED RUNOFF - EXISTING RUNOFF

= 0.600 CFS - 0.587 CFS

= 0.013 CFS (INCREASE IN IMPERVIOUS AREA)

**STORMWATER MANAGEMENT MEASURES REQUIRED**

**NDS FLO-WELL GRAVEL TRENCH**

ROOF AREA = 225 SQ.FT. OR 0.005 AC.

15-YEAR 20-MINUTE RUNOFF = 0.005 AC. X 3.54 CFS/AC. = 0.018 CFS > 0.013 CFS (REQ.)

VOLUME TO BE ATTENUATED FOR = 0.018 X 1200 = 21.60 C.F.

ONE NDS FLO-WELL GRAVEL SYSTEM ARE PROPOSED TO PROVIDE THE ATTENUATION.

DEPTH OF THE GRAVEL BACKFILL BENEATH THE FLO-WELL: 1 FEET.

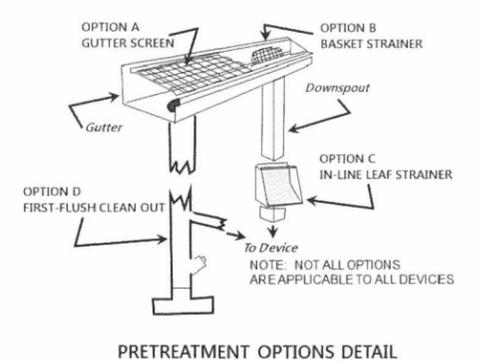
THE THICKNESS OF THE GRAVEL BACKFILL AROUND THE FLO-WELL: 1 FEET.

TOTAL VOLUME OF WATER TO BE STORED: 23.37 C.F. > 21.60 C.F. (REQ. FOR ROOF AREA)

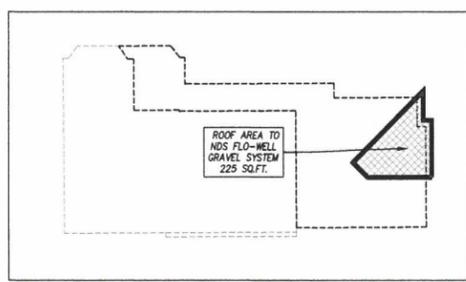
**NOTE:** THE PROFESSIONAL'S SEAL THAT APPEARS ON THIS SHEET ONLY CERTIFIES FOR THE PREPARATION OF THE PLOT PLAN FOR THE ADDITIONS AND THE STORM WATER CALCULATIONS. NO EXISTING FIELD TOPOGRAPHY WAS PERFORMED. CONTRACTOR SHALL VERIFY THE EXISTING FIELD CONDITION PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

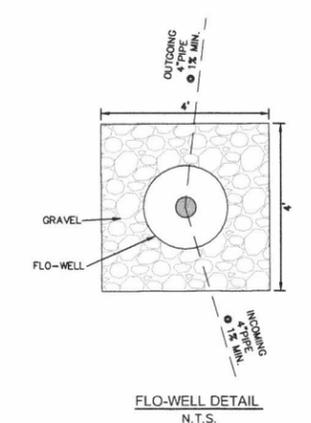
CIRCLE ONE OR MORE OPTIONS USED: A B C D



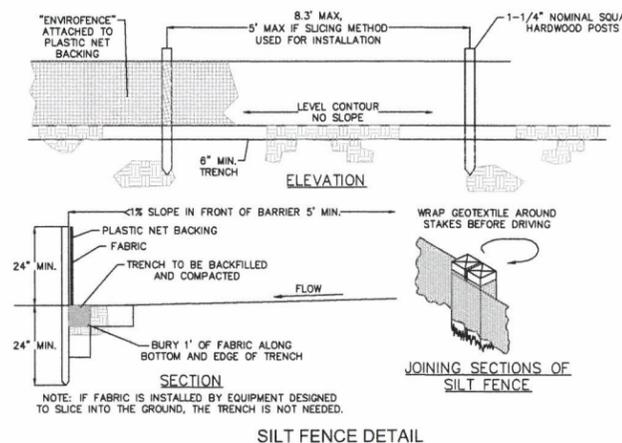
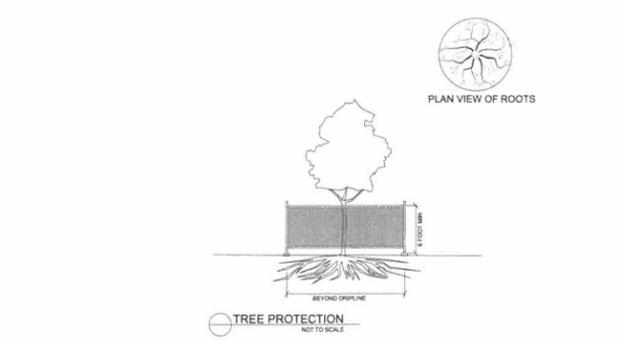
- DESIGN NOTES:**
- THE GUTTERS SHALL DISCHARGE TO POP-UP EMITTERS UNLESS NOTED OTHERWISE.
  - THE PLACEMENT OF THE POP-UP EMITTERS TO BE DETERMINED IN THE FIELD. THE PLACEMENT SHALL ALLOW FOR STORM WATER TO BE ABSORBED PRIOR TO RUNOFF ONTO ADJACENT PROPERTY.
  - THE PLACEMENT OF THE NDS FLO-WELL GRAVEL TRENCH TO BE DETERMINED IN THE FIELD. THE PLACEMENT SHALL ALLOW THE NDS FLO-WELL GRAVEL TRENCH TO BE ABLE TO DRAIN PROPERLY.
  - THE POINT OF STORMWATER DISCHARGE SHALL BE AT LEAST 10 FEET FROM ANY PROPERTY LINE.
  - THE CONTRACTOR IS TO MAINTAIN THE SHEET FLOW FOR THE STORM WATER AND SHALL NOT CONCENTRATE RUNOFF ONTO ADJACENT PROPERTIES.
  - DO NOT CONNECT WINDOW WELL DRAINS TO THE DOWNSPOUT PIPING.



ROOF CONTRIBUTORY MAP  
1" = 20'

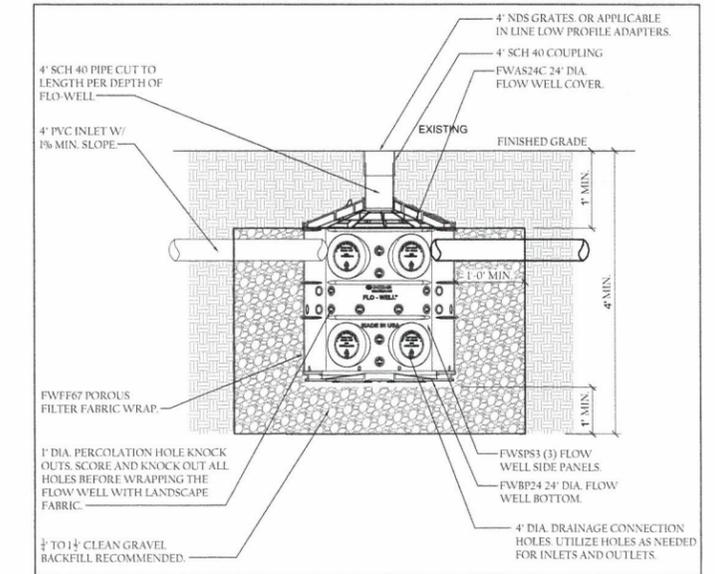


FLO-WELL DETAIL  
N.T.S.



SILT FENCE DETAIL

**NDS FLO-WELL GRAVEL INSTALLATION**



DEPTH OF THE GRAVEL BACKFILL BENEATH THE FLO-WELL: 1'  
THE THICKNESS OF THE GRAVEL BACKFILL AROUND THE FLO-WELL: 1'  
TOTAL VOLUME OF WATER TO BE STORED: 23.37 C.F.

**NOTE:** FLO-WELL DRY WELL SHALL BE A MINIMUM OF 10 FEET FROM ANY STRUCTURE.

HTTPS://WWW.NDSPRO.COM/PRODUCTS/DRAINAGE/DRY-WELLS.HTML

- CONTRACTOR TO DETERMINE THE LOCATION OF NDS FLO-WELL GRAVEL TRENCH IN FIELD AND TO ENSURE THAT NDS FLO-WELL GRAVEL TRENCH CAN DRAIN PROPERLY.
- THE STERLING COMPANY ASSUMES NO RESPONSIBILITY FOR ANY ERRORS WITH THE LOCATION AND DRAINABILITY OF THE NDS FLO-WELL GRAVEL TRENCH.

ISSUE REMARKS/DATE

1	
2	
3	

**DANIEL C. & KELLY L. GARGAN**  
400 PARKLAND AVENUE  
GLENDALE, MO 63122

**THE STERLING CO.**  
**ENGINEERS & SURVEYORS**  
5055 New Baumgartner Road  
St. Louis, Missouri 63129-8844  
Ph: 314-317-3100  
www.sterlingco.com  
Corporate Certificate of Authority #001348

**#400 PARKLAND AVENUE**  
GLENDALE, MISSOURI 63122  
PROPOSED CONDITIONS  
PLOT PLAN FOR ADDITIONS

**NOT APPROVED FOR CONSTRUCTION! FOR REVIEW ONLY!**

Date: Henry H. Hahn, PE  
License # PE-2022036627  
Professional Engineer

Job Number: 24-09-215  
Date: 11/15/2024  
Drawn: HHH Sheet: 2.1  
Checked: MGB PP

Drawing name: V:\2409215\_400 Parkland Ave\Drawings\Surveying\Plot Plan.dwg Plotted on: Nov 18, 2024 - 9:42am Plotted by: bhaym

GENERAL SPECIFICATIONS:

SITE

1. BACK FILL SHALL BE FREE OF DEBRIS AND LARGE ROCKS, INSTALLED IN 8" LIFTS AND EACH LIFT COMPACTED TO ALL VOIDS. SLOPE GRADE AWAY FROM BUILDING AT 1 INCH PER FOOT FOR MINIMUM FOR A DISTANCE OF 5'-0" MINIMUM OR TO A SWALE.

2. IF PROJECT IS LOCATED IN THE CITY OF ST. LOUIS, CONNECT ALL DOWNSPOUTS TO SEWER PER LOCAL CODES.

CONCRETE

1. FOOTINGS ARE DESIGNED ON THE BASIS OF AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 1500 P.S.F. AND A FLUID PRESSURE OF 45 PCF, DOWN BELOW BEARING ELEVATIONS INDICATED AND AS REQUIRED TO REACH SOIL WHICH PROVIDES ADEQUATE BEARING CAPACITY.

2. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE 3000 P.S.I. @ EXTERIOR EXPOSED/UNEXPOSED BASEMENT WALLS AND 2500 FOR EXTERIOR SLABS AND GARAGE SLABS. PROVIDE AIR ENTRAINMENT IN ALL SLABS EXPOSED TO POSSIBLE FREEZING INCLUDING BASEMENT SLABS. ALL OTHER CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I.

3. ALL VOIDS UNDER BASEMENT, GARAGE, PORCH, OR EXTERIOR STAIR CONCRETE SLABS SHALL BE FILLED WITH GRANULAR FILL.

4. MINIMUM OF (2) #5 REBARS AROUND ALL WINDOW AND DOOR OPENINGS IN PLAIN CONCRETE FOUNDATION AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.

METALS

1. REINFORCING STEEL: FOUNDATION WALL GRADE 60 YIELD STRENGTH SLAB FLOORS AND WALKS: #6 @ 10" W/M.

2. 1/2" DIAMETER ANCHOR BOLTS TO BE PLACED AT A MAXIMUM OF 4'-0" O.C. SET 8" MIN. INTO CONCRETE REQUIRED FOR ANCHORING OF SILL PLATES AROUND ENTIRE FOUNDATION WITH NUTS AND 1-1/2" WASHERS PROVIDED. MINIMUM 2 BOLTS PER SECTION OF PLATE REGARDLESS OF LENGTH. SILL PLATES TO BE GROUTED LEVEL.

WOOD FRAMING

1. EXTERIOR WALLS, INTERIOR BEARING WALL, AND TRUSS BRACING TO BE #2 GRADE SOUTHERN YELLOW PINE 2X4'S (U.N.O.) OR E = 1,800,000 P.S.I. Fc = 625 P.S.I. OR BETTER (19% MAX. M.C.)

2. FRAMING LUMBER SHALL BE #2 SPF OR BETTER HAVING AN ALLOWABLE BENDING STRESS OF 1050 MIN. P.S.I. FOR ALL 2X10 MEMBERS AND 950 MIN. P.S.I. FOR ALL 2X12 MEMBERS, WITH MODULUS OF ELASTICITY OF 1,600,000; FLOOR JOISTS, WOOD LINTELS, WOOD BEAMS, ALL HEADERS, AND STAIR TREADS (NOSED). ALL STRUCTURAL WOOD MEMBRANES SHALL BE "DENSE SELECT" STRUCTURAL MIN. 1550 FIBER STRESS.

3. ALL SOUTHERN YELLOW PINE STRUCTURAL NUMBER 2 WOOD COLUMNS INDICATED ON THE PLANS SHALL MEET THE FOLLOWING SPECIFICATIONS: \*2X4 SPF STRUCTURAL NUMBER 2 \*Fb= 1550 PSIFc 11 = 1650 PSIE = 1.6 10 6 PSI

4. ALL HEADERS SHALL BE 2X10'S Fb= 1050 PSI; NUMBER 2 GRADE SOUTHERN YELLOW PINE, UNLESS OTHERWISE NOTED. ALL INTERIOR PARTITIONS SHALL BE 2X4 STUDS AT 16" O.C., ALL PLUMBING PARTITIONS TO BE 2X8'S AT 16" O.C. UNLESS OTHERWISE NOTED.

5. CUTTING, NOTCHING AND/OR BORING HOLES IN WOOD BEAMS, JOISTS, RAFTERS, OR STUDS SHALL NOT EXCEED THE LIMITATIONS SET FOR IN SECTIONS 2308.9.10, 2308.9.11, R502.8, R602.6, AND R802.7 OF THE 2003 IBC CODE.

6. ALL LUMBER FRAMING MUST BE NAILED INTO PLACE ACCORDING TO THE MOST DEMANDING REQUIREMENTS OF THE FOLLOWING STANDARDS: THE NATIONAL FOREST PRODUCTS MANUAL FOR HOUSE FRAMING, THE NAILING SCHEDULE IN ACCORDANCE WITH TABLE 2305.2 OF 1999 BOCA OR TABLE R602.3(1) OF 2003 IRC, AND, IF INCLUDED, PER THE STRUCTURAL GENERAL NOTES. PLYWOOD SUB FLOORING, EXTERIOR PLYWOOD SIDING AND ROOF SHEATHING SHALL ALSO BE NAILED IN ACCORDANCE WITH SCHEDULE.

7. 3/8" OR 1/2" PLYWOOD SHEATHING A P.A. RATED 240 EXPOSURE #1 ON ALL ROOFS. (IF 3/8" IS USED, BLOCK EDGES OR USE CLIPS.) 3/4" TAG PLYWOOD SHEATHING A P.A. RATED 4824 EXPOSURE #1 NAIL TO FLOOR JOIST. SEE STRUCTURAL FRAMING ON PLANS TO DETERMINE IF GLUING OF PLYWOOD SUB FLOOR TO FLOOR JOIST IS REQUIRED.

8. ALL EXPOSED MATERIALS FOR SOFFITS AND OVERHANGS, ETC. SHALL BE APPROVED EXTERIOR GRADE MATERIALS WITH 3/8" MINIMUM OF 1/2" PLYWOOD SHEATHING C.D., C.C. OR A.C. EXTERIOR WATERPROOFED TYPE OR INTERIOR TYPE BONDED WITH EXTERIOR GLUE ON ALL EXPOSED OVERHANGS, EAVES, ETC. EXTERIOR WALL SHEATHING TO BE BOCA OR IRC APPROVED. EXTERIOR TYPE MATERIAL TO BE USED ON PORCH SOFFITS.

9. MINIMUM (3) 2X4 STUDS UNDER ALL MULTIPLE 2X BEAMS, MICRO-LAMS AND GIRDER TRUSSES, UNLESS NOTED OTHERWISE.

10. PROVIDE 2X4 BLOCKING OVER STEEL BEAMS BETWEEN PERPENDICULAR JOISTS OR PROVIDE CONTINUOUS 1X4 ON BOTH SIDES OF BEAMS TO BOTTOM OF PERPENDICULAR JOISTS.

11. PROVIDE CONTINUOUS MID-POINT BRACING/BLOCKING ATTACHED TO EACH STUD AT ALL EXTERIOR FRAME WALLS AND INTERIOR FRAME BEARING WALLS DURING THE CONSTRUCTION PROCESS. AFTER SHEATHING AND/OR DRYWALL ARE INSTALLED ON BOTH SIDES OF THESE TYPE WALLS THIS BRACING/BLOCKING CAN BE REMOVED.

12. EXTERIOR CORNER BRACING IS REQUIRED. IF 1X4 OR STEEL TEE IS USED IN LIEU OF BOCA / IRC APPROVED SHEATHING THE FOLLOWING APPLIES: WOOD LET-IN BRACING WHICH CONSISTS OF NOT LESS THAN ONE (1) PIECE OF ONE (1) BY FOUR (4) INCH CONTINUOUS DIAGONAL BRACE LET INTO THE STUDS, SOLE AND CAP PLATES. DIAGONAL BRACE SHALL BE SECURED WITH NOT LESS THAN TWO (2) #8 COMMON NAILS AT EACH INTERSECTING POINT. OPTION: INSTALL A TEE SHAPED STRAP THAT IS INSTALLED INTO A 1/2" DEEP KERF CUT INTO STUDS AT A 45 DEGREE ANGLE BEGINNING AT THE UPPER CORNER OF THE WALL. WHERE NECESSARY THIS STRAP MAY BEGIN A MAXIMUM OF 32" AWAY FROM THE CORNER OR MAY BE INSTALLED AT 60 DEGREES IN ORDER TO AVOID A WALL OPENING.

14. PROVIDE FIREBLOCKING AT TOP AND BOTTOM OF ALL FURRING.

15. TOP AND BOTTOM OF ALL CONVENTIONAL, DOUBLE STUD, AND STAGGERED STUD FRAME WALLS TO BE FIREBLOCKED.

16. DROPPED CEILINGS AND SOFFITS BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFTSTOPPED AT 500 SQ. FT. INTERVALS AND PARALLEL TO FRAMING MEMBERS. A 22" X 30" MINIMUM ACCESS OPENING IS REQUIRED FOR ATTIC AREAS WHICH HAVE A CLEAR HEIGHT OF AT LEAST 30". WHEN ACCESS DOORS IN DRAFTSTOPPING ARE PROVIDED THEY SHALL BE SELF CLOSING AND OF APPROVED MATERIALS.

17. PROVIDE FIREBLOCKING AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS OVER CABINETS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.

18. ALL REQUIRED UNDERLAYMENT TO BE A MINIMUM OF TYPE 1 PER ASTM D226.

AIR & MOISTURE PROTECTION

1. CAULKING AND SEALANT: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.

2. AIR INFILTRATION RATE FOR WINDOWS SHALL NOT EXCEED 0.5 CFM PER FOOT OF SASH CRACK. DOORS SHALL NOT EXCEED 0.5 CFM PER SQ. FT. OF DOOR AREA.

3. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED AT TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH MANNER AS TO BE LEAK PROOF, EXCEPT FLASHING IS NOT REQUIRED WHEN A BOCA / IRC APPROVED WATER-RESISTANT SHEATHING IS USED AND APPROVED WATER RESISTANT CAULKING IS USED AT THE TOP AND SIDES OF WALL WINDOW AND DOOR OPENINGS IN SUCH A MANNER TO BE LEAKPROOF.

4. IF EXPOSED CONCRETE FOUNDATION WALL ABOVE FINISHED OUTSIDE GRADE/GROUND BECOMES GREATER THAN 20% OF THE TOTAL FOUNDATION WALL AREA, THEN THE PORTION OF CONCRETE FOUNDATION WALL GREATER THAN THE ALLOWED 20% IS REQUIRED TO BE INSULATED WITH R-5 MINIMUM INSULATION. TOTAL FOUNDATION WALL AREA IS COMPUTED BY MULTIPLYING THE BASEMENT WALL HEIGHT OF ALL BASEMENT WALLS (INCLUDING INSULATED EXTERIOR FRAME WALLS AT WALKOUT BASEMENTS, CONCRETE FOUNDATION WALLS COMMON TO BOTH BASEMENT AND ATTACHED FIRST FLOOR GARAGES, AND ALL EXTERIOR BASEMENT WALLS) TIMES THE PERIMETER LENGTH OF ALL THESE WALLS.

6. INSULATION: BATT FIBERGLASS INSULATION OR EQUAL W/ VAPOR BARRIER TO THE WARM SIDE: EXTERIOR WALLS: R-13 3" THICK OR R-19 6" THICK CEILING: R-39 9" THICK FLOOR: R-19 6" THICK

WHILE FIBERGLASS BATT IS THE INDUSTRY STANDARD, IT IS BECOMING APPARENT THAT BLOWN CELLULOSE PROVIDES SUPERIOR PERFORMANCE AND IS MORE ENVIRONMENTALLY SENSITIVE; ITS USE SHOULD BE CONSIDERED.

GLASS & GLAZING

1. GLAZING IN STORM DOORS, EXTERIOR OR INTERIOR DOORS, GUARDS, AND RAILING, PATIO DOORS AND SHOWER AND BATHTUB ENCLOSURES (CONSISTING OF GLAZED WALLS, PANELS, AND DOORS) MUST BE TEMPERED OR LAMINATED SAFETY GLASS MEETING CPSC16 CFR, 1201, FIRE RATED W/ WIRE GLASS MEETING ANSI Z97.1, OR APPROVED SHATTER RESISTANT PLASTIC MEETING THE WEATHERING REQUIREMENTS OF ANSI Z97.1.

2. SEE FIRE PROTECTION/LIFE SAFETY FOR EGRESS WINDOWS.

GYPSUM BOARD

1. DRYWALL INSTALLATION SHALL BE IN ACCORDANCE WITH TABLE R702.3.5 OF 2003 IRC OR TABLE 2503.3 OF 1999 BOCA AND IN CONFORMANCE WITH THE GYPSUM ASSOCIATION RECOMMENDED PRACTICE FOR THICKNESS, NAILING AND TAPING ON CORRECT STUD SPACING SUPERSEDED BY LOCAL CODE REQUIREMENTS. ALL FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF THE APPROVED TEST ASSEMBLY.

2. WATER RESISTANT GYPSUM BOARD MEETING ASTM C630 REQUIRED IN BATHTUB/SHOWER AREAS & AT ALL PLUMBING PENETRATIONS.

FIRE PROTECTION/LIFE SAFETY

1. ALL FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED PER SPECIFICATIONS OF THE APPROVED TEST ASSEMBLY.

2. EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN 25 AND SMOKE DEVELOPED RATING OF 450 OR LESS.

3. SMOKE DETECTORS TO BE A.C. POWERED W/ BATTERY BACKUP, U.L. APPROVED AND INSTALLED PER NFPA 72-96 (INTERCONNECT ALL DETECTORS). SMOKE DETECTORS SHALL BE LOCATED ON EACH FLOOR IN THE VICINITY OF ALL BEDROOM ENTRANCE DOORS (BEDROOM HALLWAY) AND WITHIN EACH BEDROOM. LOCATE BEDROOM HALLWAY DETECTORS UPSTREAM FROM OR NEAR RETURN AIR GRILLS. FLOOR LEVELS WITHOUT BEDROOMS SHALL HAVE THE DETECTOR LOCATED AT THE CEILING NEAR THE STAIRWAY.

4. ALL MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

EXCEPTION: KEY OPERATION SHALL BE PERMITTED FROM A DWELLING UNIT PROVIDED THAT THE KEY CANNOT BE REMOVED FROM THE LOCK WHEN THE DOOR IS LOCKED FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE.

5. INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200.

VENTILATION

1. ATTIC VENTILATION AREA IS TO BE AT LEAST 1/150 OF THE AREA SERVED. TWO REMOTE VENTS REQUIRED FOR EACH (MINIMUM). WHERE RIDGE OR GABLE VENTS ARE USED, HALF OF THE REQUIRED VENTILATION AREA IS TO BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF TO BE PROVIDED BY EAVE OR CORNICE VENTS. EXCEPTION: THE REQUIRED VENTILATION AREA MAY BE REDUCED TO 1/300 IF THE GABLE OR RIDGE VENTS ARE LOCATED IN THE UPPER ONE THIRD OF THE ATTIC OR ENCLOSED RAFTER SPACE.

2. ENCLOSED ATTIC, RAFTER AND CRAWL SPACE AREAS MAY BE VENTILATED BY A MECHANICAL EXHAUST AND SUPPLY AIR SYSTEM OF .02 CFM/SQ. FT. OF HORIZONTAL AREA. THE VENTILATION SYSTEMS SHALL OPERATE WHEN THE RELATIVE HUMIDITY EXCEEDS 60% IN THE SPACE.

ATTICS

1. PROVIDE ALL OF THE FOLLOWING (A, B, AND C) WHERE ATTIC TRUSSES WITH A WEB CONFIGURATION ALLOW A RECTANGULAR SPACE OF 42" VERTICALLY X 24" HORIZONTALLY BETWEEN THE WEBS AND BOTTOM CHORD.

- a. ATTICS WITH DRYWALL CEILINGS BELOW THAT ARE ACCESSED ONLY BY A 22" X 30" SCUTTLE OPENING WITHOUT A FULL-DOWN STAIRWAY.
b. WARNING SIGNS ATTACHED TO THE TRUSSES ON EACH SIDE OF THE 22" X 30" SCUTTLE OPENING AT LEAST 36" ABOVE THE BOTTOM CHORD AND WITHIN 18" OF THE EDGE OF THE OPENING. THE SIGNS SHALL BE CONSTRUCTED OF METAL OR OTHER APPROVED DURABLE MATERIALS SUITABLE FOR THE LOCATION AND BE A MINIMUM OF 40 SQ. INCHES IN AREA WITH 3/4" MINIMUM HIGH LETTERS ON A CONTRASTING BACKGROUND THAT READS "WARNING- TRUSSES NOT DESIGNED FOR ATTIC STORAGE"
c. ATTIC AREAS OVER GARAGE AREAS WITH DRYWALL CEILINGS SHALL ALSO BE PROVIDED WITH WARNING SIGNS AS DESCRIBED IN ITEM "B" ABOVE AND A HORIZONTAL RAILING ATTACHED TO THE TRUSSES ON EACH SIDE OF THE 22" X 30" SCUTTLE OPENING AT LEAST 24" AND NOT MORE THAN 36" ABOVE THE BOTTOM CHORD. THE RAILING IS INTENDED TO BE AN OBSTRUCTION TO EASY ACCESS FOR STORAGE AND SHALL BE CONSTRUCTED OF EITHER 1X4s, 2X4s OR 3/8" X 8" PLYWOOD. IT MAY BE SHOP OR FIELD APPLIED.

ELECTRIC

1. ALL EXTERIOR STAIRWAYS SERVING THE DWELLING SHALL HAVE LIGHTING CONTROLLED BY ONE OF THE FOLLOWING METHODS:
a. CONTROLS INSIDE THE DWELLING.
b. AUTOMATICALLY ACTIVATED WITH A MANUAL OVERRIDE.

2. U.L. APPROVED NONMETALLIC ELECTRICAL OUTLET AND SWITCH BOXES MAY BE USED IN FIRE RATED WALLS. (U.L. BOX CLASSIFICATION TO MATCH FIRE RATED WALL DESIGN ASSEMBLY AND TO BE INSTALLED PER CLASSIFICATION SPEC.) BOX SIZE, SPACING, AND INSTALLATION TO MEET THE REQUIREMENTS FOR METALLIC BOXES AS LISTED BELOW (MINIMUM) UNLESS NONMETALLIC BOX CLASSIFICATION SPEC. REQUIRED MORE RESTRICTIVE REQUIREMENTS.

3. IN FIRE RATED GYPSUM WALLS NOT EXCEEDING 2 HR. RATING, SINGLE AND DOUBLE GANG U.L. APPROVED METALLIC ELECTRICAL OUTLET AND SWITCH BOXES WITH METALLIC OR NONMETALLIC COVER PLATES MAY BE USED. THE SURFACE AREA OF INDIVIDUAL BOXES SHALL NOT EXCEED 16 SQ. IN. AND THE AGGREGATE SURFACE AREA OF BOXES SHALL NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AREA. BOXES LOCATED ON OPPOSITE SIDES OF WALL SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 IN. GYPSUM BOARD SHALL BE CUT WITH NO MORE THAN A 1/8" CLEARANCE AROUND BOX.

4. ALUMINUM WIRING IS PROHIBITED FROM THE LOAD SIDE OF SERVICE EQUIPMENT TO ANY OUTLETS.

GENERAL CONDITIONS:

1. ALL CONTRACTORS SHALL OBSERVE ALL REGULATIONS IMPOSED BY THE APPROPRIATE GOVERNING BODIES, AND ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODES, ACCIDENT AND FIRE PREVENTION REGULATIONS, ALL MATERIALS, EQUIPMENT, WORKMANSHIP, WORKING CONDITIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE LATEST APPLICABLE SECTIONS OF LOCAL, MUNICIPAL, CITY, STATE & FEDERAL CODES, ORDINANCES, & STANDARDS.

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO STARTING ANY CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES AT THE BUILDING SITE.

3. THE CONTRACTOR SHALL CONSTRUCT ALL NEW WORK IN A NEAT & APPROVED MANNER.

4. THE CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS & INSERTS FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED FOR THEIR INSTALLATION AND PER DRAWINGS (IF APPLICABLE).

5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SECURITY IN & AROUND THE JOB SITE DURING CONSTRUCTION.

7. THE CONTRACTOR SHALL SUBMIT / FILE FOR, PAY & SECURE ALL APPROVALS, BUILDING PERMITS, FIRE PERMITS, TEST, AND CERTIFICATES OF COMPLIANCE & OCCUPANCY.

8. THE DIMENSIONS ON THESE DRAWINGS IN ALL CASES SUPERSEDE SCALE. CONTRACTOR IS NOT TO SCALE DRAWINGS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RUBBISH SWEEP UP & REMOVED. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL LEAVE WORK IN A FINISHED CONDITION.

10. IT WILL BE THE DUTY OF THE CONTRACTORS TO COMMUNICATE IMMEDIATELY WITH EACH OTHER IN ORDER TO SCHEDULE WORK, STORAGE AREAS, ETC. IN AN APPROVED MANNER AND WITHIN THE TIME SPECIFIED.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO OWNER'S OR OTHER'S PROPERTY DONE BY HIMMER OR INDIVIDUALS IN THE CONTRACTOR'S EMPLOY, OR THROUGH NEGLIGENCE.

12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXPOSED AND CONCEALED UTILITIES BEFORE CONSTRUCTION BEGINS.

13. ALL ARCHITECTURAL DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHTS AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.

14. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THE PLANS, HE SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION PRIOR TO BIDDING. THE CONTRACTOR WILL BE HELD RIGIDLY TO INTERPRETATIONS OF THE ARCHITECT.

15. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT TYPICAL FOR STANDARD CONSTRUCTION OF ANY OF THE WORK, SHALL BE INCLUDED IN THIS CONTRACT DOCUMENT SET AS THOUGH IT WERE SHOWN IN THE DOCUMENTS.

RESIDENTIAL ADDITIONS
400 PARKLAND AVENUE
GLENDALE, MO 63122

PROJECT DATA:

PROJECT NAME: RESIDENTIAL ADDITIONS
400 PARKLAND AVENUE
GLENDALE, MO 63122

OWNER: DAN & KELLY GARGAN
400 PARKLAND AVENUE
GLENDALE, MO 63221
(303) 859-7372

ARCHITECT: ANN BEGEMANN ARCHITECT
3207 CHARLESTON BLVD.
ROCKINGHAM, VA 22801
(314) 614-0686

APPLICABLE CODES:

Table with 2 columns: Code Type and Code Reference. Includes International Residential Code, National Electric Code, National Plumbing Code, International Mechanical Code, and IPCM Property Maintenance Code.

NOTE:

ALL WORK TO ADHERE TO THE 2015 SINGLE FAMILY DWELLING CHECKLIST AS PROVIDED BY ST. LOUIS COUNTY.

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

Table with 10 columns: Ground Snow Load, Wind Speed (MPH), Seismic Design Category, Weathering, Frost Line Depth, Termite, Winter Design Temp, Ice Barrier Underlayment Required, Flood Hazards, Air Freezing Index, Mean Annual Temp. Values include 20 PSF, 115 MPH, C, SEVERE, 30", MOD. TO HEAVY, 2° F, NO, 02/04/15, 1500 DAYS, 54° F.

FLOOR LOADING: ROOMS OTHER THAN SLEEPING ROOMS 40 LB LIVE LOAD, SLEEPING ROOMS 30 LB LIVE LOAD, 25 LB DEAD LOAD

ROOF LOADING: 16 LB LIVE LOAD, 15 LB DEAD LOAD

SEAL

Ann Begemann, ARCHITECT
begemann\_ann@sbcglobal.net
(314) 614-0686

RESIDENTIAL ADDITIONS
at 400 Parkland Avenue
Glendale, MO 63122

Table with 3 columns: REV, DATE, ISSUE. Row 1: 11.15.24, ARB SET.

SHEET NUMBER

A0











424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

## APPEAL TO THE BOARD OF ADJUSTMENT

APPLICANT: Jenny Gossow DATE: 02.12.25  
PROPERTY OWNER: Jenny Gossow ZONING DISTRICT: R-2  
ADDRESS of PROPERTY: 1249 Carol Ann Place Glendale, MO 63122  
TELEPHONE: Day (314) 496-8950 Home (\_\_\_\_) \_\_\_\_\_

### *Section 1: Basis for Granting Variances:*

A variance can only be granted when the strict application of the zoning regulations of Chapter 400 of the Glendale Municipal Code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property by reason of at least one of the following:

- a. *Area Variances.* When, by reason of exceptional narrowness, shallowness or shape of a specific piece of property on April 24, 1963, or by reason of exceptional topographical conditions or other extraordinary or exceptional situation or condition of a specific piece of property, which condition is not generally prevalent in the neighborhood, the strict application of the area regulations of this Chapter would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property, the Board is hereby empowered to authorize upon an appeal relating to such property, a variation from such strict application so as to relieve such difficulty or hardships.
- b. *Use Variances.* The Board of Adjustment is empowered to grant use variances only upon findings that all of the following five factors are established:
  1. The applicant will be deprived of all beneficial use of the property under any of the permitted uses in the zoning district in which the property is located, all beneficial use being lost only where the property is not suitable for any use permitted in the City's zoning ordinance for that zoning district; and
  2. The applicant has sufficiently demonstrated unnecessary hardship by expert testimony and/or documentation and not mere conclusionary or lay opinion that the property in question cannot yield a reasonable return if used only for a purpose or purposes permitted in the zoning district in which that property is located; and
  3. The plight of the owner is due to exceptional or unique circumstances and not due to general conditions in the neighborhood; and
  4. The use to be authorized by the variance would not alter the essential character of the neighborhood; and
  5. The proposed use to be authorized by the use variance would not constitute a change in the district map, impair an adequate supply of light and air to adjacent property, increase congestion in public streets, increase the danger of fire, materially diminish or impair established property values within the surrounding area and would not in any other respect impair the public health, safety, comfort, morals and welfare of the City.

For details of the Board's authority to grant a variance, see Sections 400.910-400.970 of the Glendale Code.

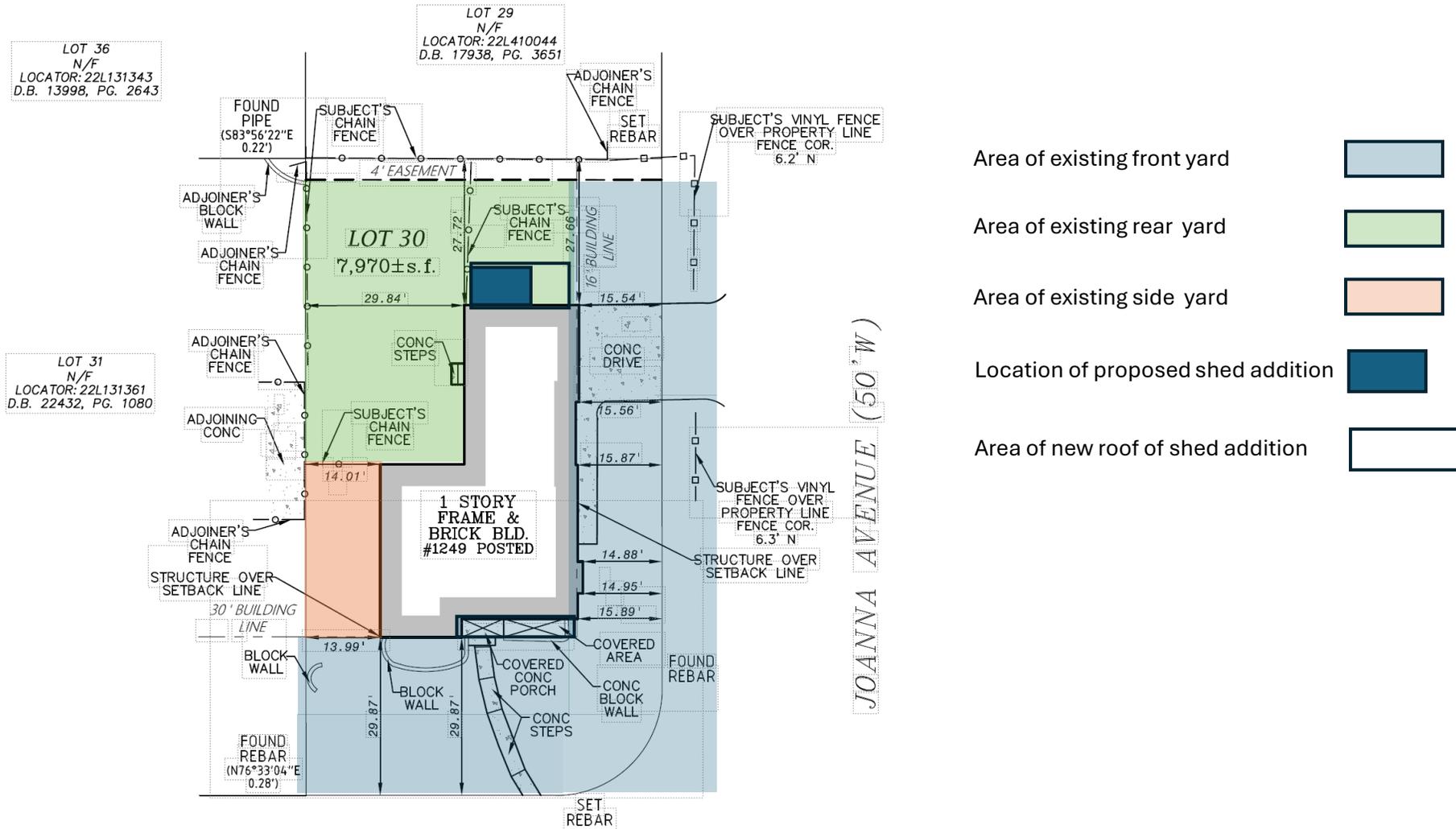
Please note that the desire to use certain space, whether interior or exterior, in a particular manner is not a basis for the Board to grant a variance.



# Appeal to Board of Adjustment

1249 Carol Ann Place

The homeowners are seeking approval for an attached shed addition to an existing two-car garage at 1249 Carol Ann Place. More specifically, they are asking for approval to build into the rear yard setback 10' feet due to practical difficulties not encountered with other corner lots in Glendale (see site diagram 1).



The house is situated on a block that could be described as a “racetrack” shape (see diagram 2 below) within the Glenridge Neighborhood. Houses facing Carol Ann and Nancy Jo are closer to 14’ apart. The corner houses at each end of the racetrack are 60’ apart since there are no houses facing Joanna. This leaves an out of scale gap in the streetscape.

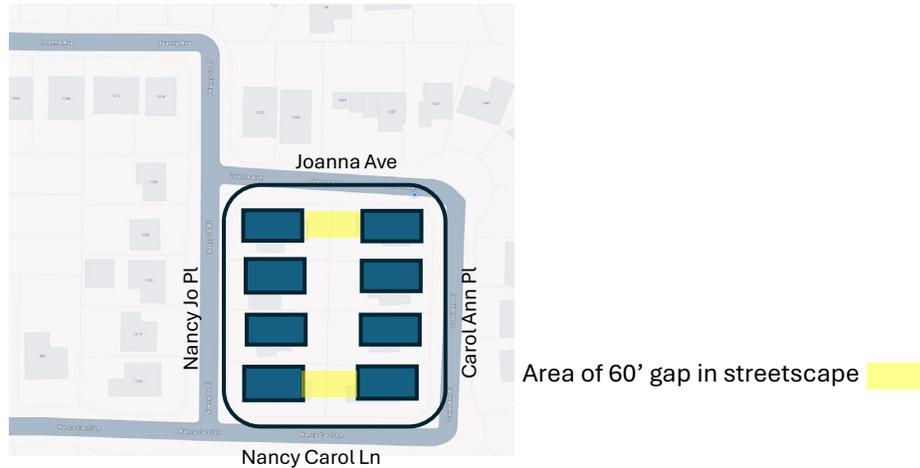


Diagram 2- Racetrack street diagram

The houses on each end of the “racetrack” must adhere to two front yard setbacks *and* comply with a rear yard setback that from the street reads like a side yard. Where most blocks in Glendale would have a street facing home in between two corner lots, this street layout does not (see photo, 3) leaving a large, out of scale gap in the streetscape.



Photos 3 & 4 view from Joanna showing 60' gap at atypical corner lots at corners of Carol Ann Place and Nancy Jo Place



Photos 5, 6 showing views across from 1249 Carol Ann Place

This condition looks less cohesive along those properties relative to the houses on the same block across the street (see photos 5, 6 above) and at typical corner lots in the Glenridge Subdivision (see photos 7,8,9).



Photos 7,8,9

Having studied the options for a detached shed of this size that conform to the setbacks would put this shed in the middle of the yard and making it much more visible from the street (see renderings 10, 11). The rear yard has an existing easement that also impedes the location closer to the property line.



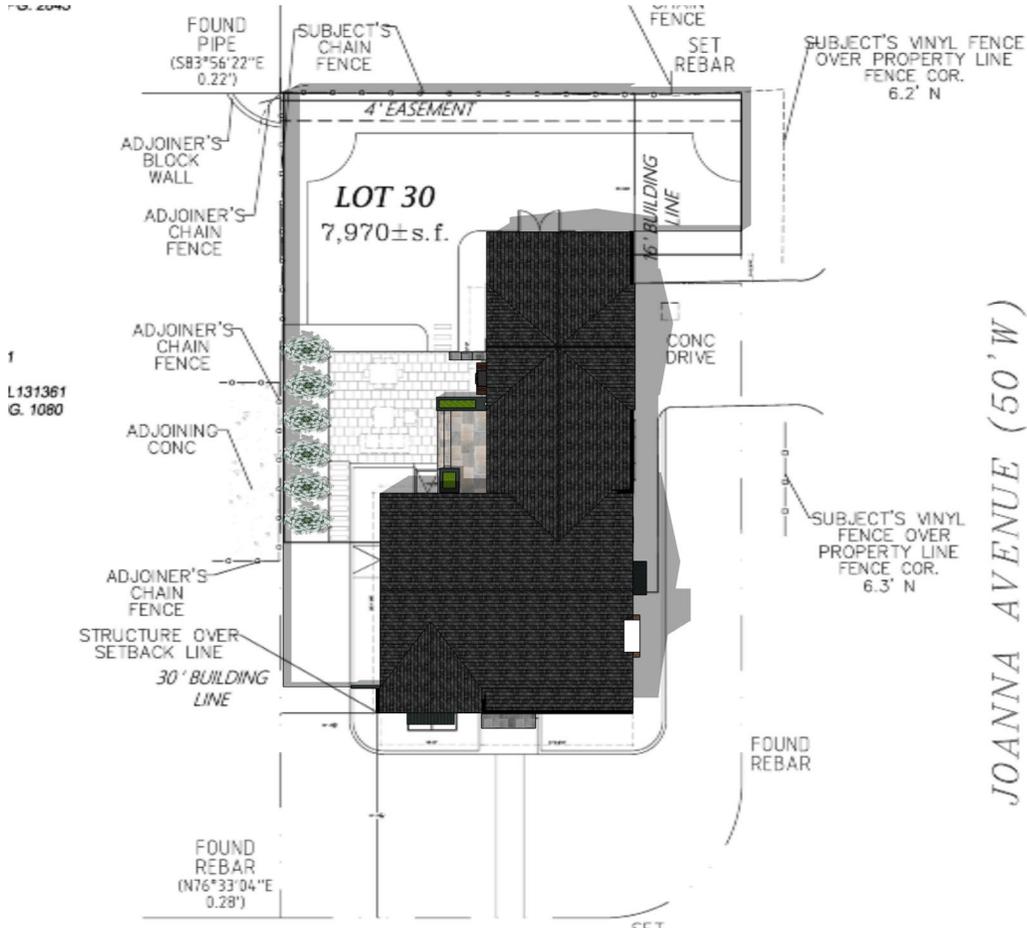
Renderings of detached shed location 10,11

Many residences in the neighborhood have sheds and in some cases two which can be eyesores (see photo 12).



Photo 12-The residence (also located on Carol Ann Place ) has 2 sheds, a covered porch, a pergola and patio. These are permissible but add visual clutter. These are not visible from the street. The homeowners at 1249 Carol Ann are hoping to avoid the visual clutter as it would be seen from Joanna.

The homeowners have designed a solution to their storage needs that addresses the view from Joanna, while also minimizing the impact on the useable yard (see renderings 13, 14,15,16,17).



Rendering 13- plan view



Rendering 14- view of covered area at garage door and blended roofline



Rendering 15- aerial view



Rendering 16- Joanna Avenue view



Rendering 17- interior backyard view

The homeowners would like to fully integrate the shed into the existing style of the house, create a covered area outside the side door of the garage to blend the roof line and match all existing details. They are requesting a variance of 10' into the required rear yard setback to construct an attached 12'x10' shed, creating a setback of 20' and a distance from the neighbor's house of 48'.

If the variance is granted, the homeowners will then submit final plans to Glendale Architectural Review Board for further review.

Thank you for your consideration,

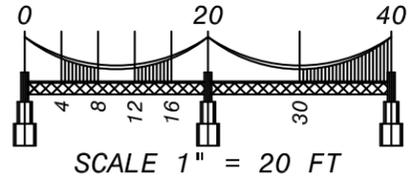
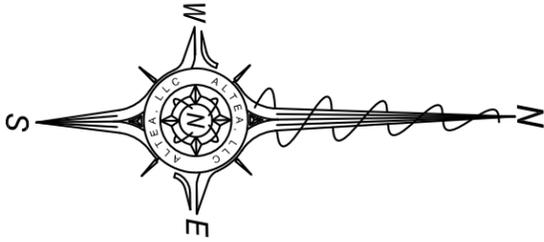
Jenny Gossow, Architect Owner  
JG Design Studio  
7412 Manchester Road  
Saint Louis, MO 63143

314-496-8950

# BOUNDARY AND IMPROVEMENT SURVEY

## 1249 CAROL ANN PLACE

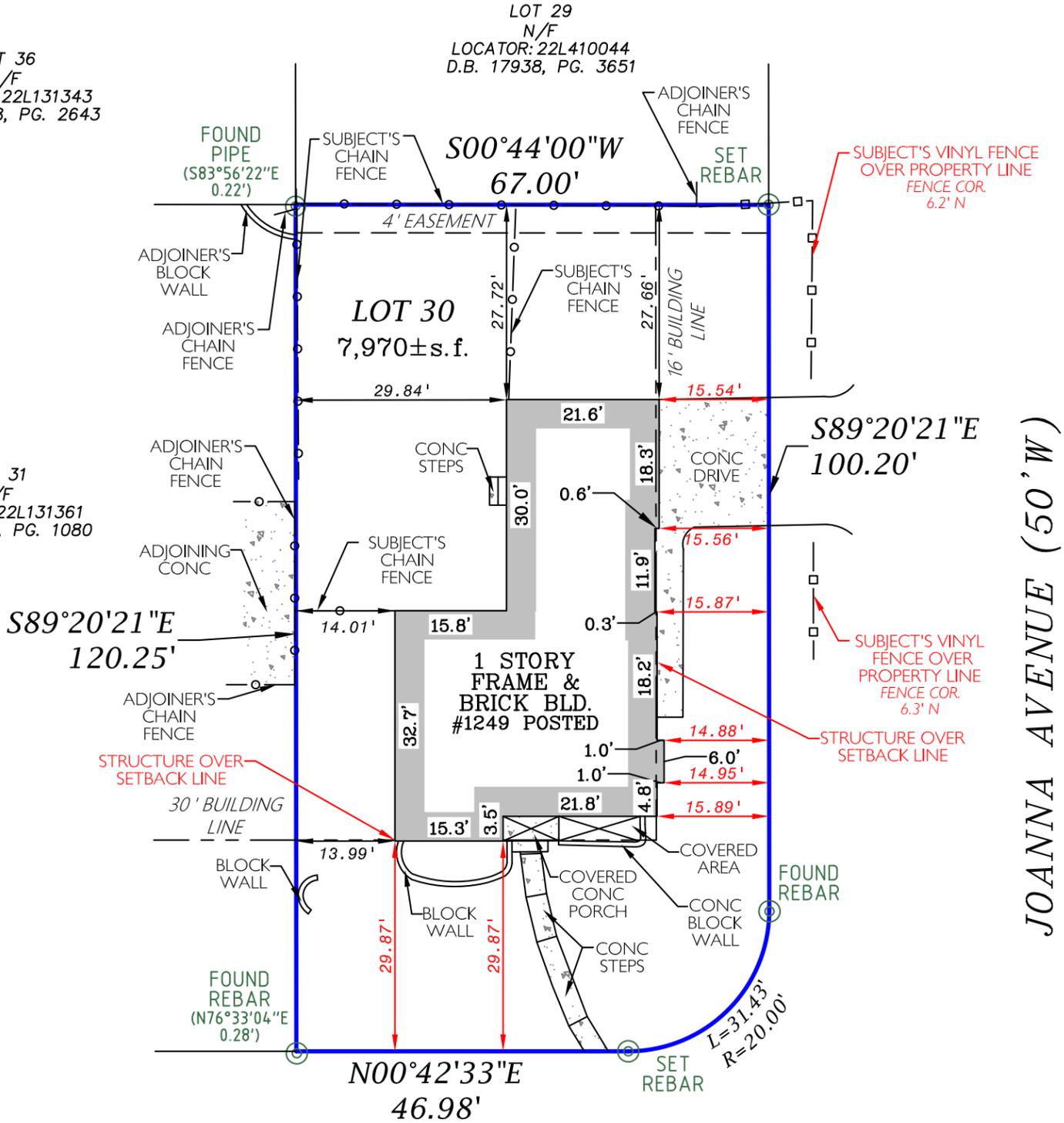
LOT 30 OF APPEL TRACT  
PLAT BOOK: 38 PAGE: 81  
ST. LOUIS COUNTY, MO



LOT 36  
N/F  
LOCATOR: 22L131343  
D.B. 13998, PG. 2643

LOT 29  
N/F  
LOCATOR: 22L410044  
D.B. 17938, PG. 3651

LOT 31  
N/F  
LOCATOR: 22L131361  
D.B. 22432, PG. 1080



### CAROL ANN PLACE (50' W) (FORMERLY CARROL PLACE)

**TITLE NOTES**

FOR THE SOURCE OF PROPERTY DESCRIPTION, EASEMENTS, DEDICATIONS AND EXCEPTIONS, ALTEA, LLC, EXCLUSIVELY USED THE TITLE DOCUMENTS PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND TITLE PARTNERS AGENCY, FILE NUMBER 22-306584-TW.  
7.) EASEMENT TO MSD PER 10687-1754; IS AN ACCEPTANCE OF EXISTING STORM/SANITARY SYSTEMS.

**BASIS OF BEARINGS**

APPEL TRACT  
PLAT BOOK: 38 PAGE: 81

- WOOD/METAL/VINYL FENCE
- CHAIN FENCE
- BOUNDARY LINE
- - - - - EASEMENT LINE
- SETBACK LINE
- ▬▬▬▬▬▬▬▬▬▬ BUILDING FOOTPRINT
- CENTERLINE
- - - - - PARCEL LINE

I.P. = IRON PIPE    I.R. = IRON ROD  
(R) = RECORD    (S) = SURVEYED  
D.B. = DEED BOOK    PG. = PAGE  
N/F = NOW OR FORMERLY    NR = NON-RADIAL

**SURVEYOR'S STATEMENT**

THIS IS TO DECLARE TO JENNIFER GOSSOW, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND TITLE PARTNERS AGENCY, THAT AT THEIR REQUEST, ALTEA, LLC., HAS DURING THE MONTH OF APRIL, 2022, EXECUTED A BOUNDARY RETRACEMENT SURVEY OF LOT 30, OF APPEL TRACT, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 38, PAGE 81 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, TOGETHER WITH THE LOCATION OF OBSERVED IMPROVEMENTS THEREON, AND THAT THE RESULTS OF SAID SURVEY ARE IN MY PROFESSIONAL OPINION, CORRECTLY INDICATED ON THE ABOVE PLAT. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY. BUILDING SETBACK INFORMATION DEPICTED HEREON IS FROM THE RECORD PLAT OR CITY BLOCK MAP (IF APPLICABLE). PLANNING AND ZONING RESTRICTIONS WERE NOT OBTAINED OR ADDRESSED AS A PART OF THIS SURVEY. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY ONLY AND IS NOT TRANSFERABLE. UTILITY LOCATES WERE NOT REQUESTED AND NO UTILITIES OR SEWERS WERE LOCATED IN CONJUNCTION WITH THIS SURVEY. THE OPINION OF THE ORIGIN OF THE FENCES SHOWN HEREON IS FROM EVIDENCE OBSERVED DURING THE COURSE OF THIS SURVEY, AND MAY INCLUDE: FENCE CONSTRUCTION, OCCUPANT TESTIMONY, OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE OR CERTAINTY GIVEN AS TO THE ORIGIN OR OWNERSHIP OF FENCES. D

AS AGENT OF ALTEA, LLC

DATE 5-9-22



**ALTEA, LLC**  
Consulting Land Surveyors  
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ST. CHARLES, MO 63304  
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ALTEA, LLC  
PROFESSIONAL LAND SURVEYING  
CERTIFICATE OF AUTHORITY: 2013023731



PROJECT NUMBER: **22-0799-O-U1**

<b>1</b> OF 1	FIELD CREW:	JDC
	DRAFTER:	LD/VM
	DRAFTED ON:	05/09/2022
	REVIEWER:	JED/BLH
	REVIEWED ON:	05/09/2022